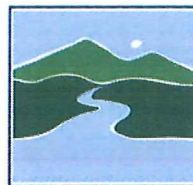


Shoreland Permit Applicationfor a **Shoreland Protection Permit** under Chapter 49A of Title 10, § 1441 *et seq.***For Shoreland Permitting Use Only**Application Number: **274**

VERMONT DEPARTMENT OF
ENVIRONMENTAL CONSERVATION
**WATERSHED
MANAGEMENT DIVISION**
LAKES & PONDS PROGRAM

Public Notice: At the same time this application is filed with Shoreland Permitting, a copy of this application must be provided to the municipal clerk for posting in the municipality in which the project is located.

Submission of this application constitutes notice that the person in Section A intends to create impervious surface and/or cleared area within the Protected Shoreland Area, and certifies that the project will comply with Chapter 49A of Title 10, § 1441 *et seq.* All information required on this form must be provided, and the requisite fees (Section G) must be submitted made payable to the State of Vermont, to be deemed complete. Refer to *The Vermont Shoreland Protection Act - A Handbook for Shoreland Development* and related instructions for guidance in completing this application.

A. Parcel Information1. Landowner's Name: **SUSAN SPADARO**2a. Physical Address (911 Address): **200 MAQUAM SHORE ROAD**

2b. Town - County: Swanton - Franklin

2c. Zip: **05488**3. SPAN (The School Parcel Account Number is required for your application to be deemed complete. It can be obtained from your property tax bill. If you cannot locate your property tax bill, please obtain this information from your Town Clerk) : **639-201-11776**4. Phone: **914-265-0586**5. Email: **CFM247@GMAIL.COM**6. Name of lake/pond: Champlain Lake (Northeast Arm) - Swanton 7. Total shore frontage: **174.00** (feet)8. Was the parcel of land created before July 1, 2014? Yes No9. Are there wetlands associated with this parcel? Yes NoContact the Wetlands Program: (802) 828-1535 or watershedmanagement.vt.gov/wetlands.htm.10. Have you ever applied for a permit with the Department of Environmental Conservation associated with this parcel?
 Yes No11. What is the surface area of your parcel within the Protected Shoreland Area (PSA): **43,500** (square feet)
See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix C, Determining Lakeside Zone & PSA12. What is the surface area of existing impervious surface on your parcel within the PSA: **2,200** (square feet)
See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix F, Calculating Percent Impervious Surface13. What is the surface area of existing cleared area on your parcel within the PSA: **3,000** (square feet)
See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix E, Calculating Percent Clearing**B. Applicant Contact Information**1. Name: **SUSAN SPADARO**2a. Mailing Address: **44 DALE ROAD**2b. Municipality: **EAST CHESTER**2c. State: **NY**2d. Zip: **10709**3. Phone: **914-265-0586**4. Email: **CFM247@GMAIL.COM****C. Application Preparer Information** (If the individual preparing the application is not the landowner.)1. Name: **DREW PIERCE - MOUNTAIN VIEW MODULAR HOMES, INC**2a. Mailing Address: **POST OFFICE BOX 1483**2b. Municipality: **QUECHEE**2c. State: **VT**2d. Zip: **05059**3. Phone: **802-455-8439**4. Email: **DREW@MOUNTAINVIEWMODULARS.COM**

D. Project Description

1. Describe the proposed project. For this application to be considered administratively complete you must attach site plans that denote existing and proposed cleared areas and impervious surface and their distances from mean water level, no fewer than three photos of the project area, and dimensions and associated surface areas of cleared areas and impervious surfaces.

REPLACE EXISTING GARAGE AND CONCRETE BLOCK 3 BEDROOM STRUCTURE ON FULL FOUNDATION WITH NEW 3 BEDROOM SINGLE FAMILY MODULAR HOME AND 2 CAR GARAGE. TIE INTO EXSTING UTILITIES. NO TREE REMOVAL.

2. For developed parcels, how far is the existing habitable structure from Mean Water Level 80 (feet), and How far will new cleared area or impervious surface be from MWL 80 (feet)?

OR

For undeveloped parcels, how far will new cleared area or impervious surface be from MWL _____ (feet)?
See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix A – Estimating Mean Water Level

3. Can all new cleared area or impervious surface be set back at least 100 feet from MWL? Yes No
If no, explain why below (attach support information as needed):

Building is being placed in same location as existing building, and within neighborhood standards. Pictures attached.

- 4a. What is the slope of the project site area: 5.00 %

See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix B, Determining Slope

- 4b. Is the slope of the project area less than 20%?

Yes No If yes, skip 4c.

- 4c. If no above (4b), describe the measures taken to ensure the slope is stable, resulting in minimal erosion and impacts to water quality (attach support information as needed):

- 5a. What is the surface area of new impervious surface associated with this project: 0.00 (square feet)

See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix F Calculating Percent Impervious Surface

- 5b. What is the total resulting impervious surface after completion of the project and prior to implementation of best management practices: 2,200.00 (square feet)

For D5b, add A12 to D5a

- 5c. Is the total in 5b. 20% or less of the parcel area within the PSA? Yes If yes, skip 5d. No

If 5a is 0, check the n/a box, otherwise divide 5b by A11 and multiply by 100 for percentage. Total percentage = _____% N/A

- 5d. If no above (5c), describe the best management practices used to manage, treat and control erosion from stormwater from the portion of impervious that exceeds 20% (attach support information as needed):

6a. What is the surface area of new cleared area associated with this project: 0.00 (square feet)

See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix E, Calculating Percent Clearing

6b. What is the total resulting cleared area after completion of the project and prior to implementation of best management practices: 5,000.00 (square feet)

For 6b, add A13 to D6a.

6c. Is the total in 6b. 40% or less of the parcel area within the PSA? Yes If yes, skip 6d. No
If 6a is 0, check the n/a box, otherwise divide 6b by A11 and multiply by 100 for percentage. Total percentage = _____ %

N/A

6d. If no above (6c), describe the best management practices used to provide erosion control, bank stability, and wildlife habitat functionally equivalent to clearing less than 40% (attach support information as needed).

E. Landowner Certification

As APPLICANT, I hereby certify that the statements presented on this application are true and accurate and recognize that by signing this application, I agree to complete all aspects of the project as authorized. I understand that failure to comply with the foregoing may result in violation of the Shoreland Protection Act, 10 V.S.A. Chapter 49A, and the Vermont Agency of Natural Resources may bring an enforcement action for violations of the Act pursuant to 10 V.S.A. chapter 201.

Applicant/Landowner Signature: _____ Date: _____

F. Application Preparer Certification (if applicable)

As APPLICATION PREPARER, I hereby certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Application Preparer Signature:  Date: 3/22/16

G. Additional Required Documentation (Please check to ensure you have completed the following)

- All sections of the application are complete (or otherwise indicate "not applicable")
- Application includes site plans denoting existing and proposed cleared area and impervious surface and distances from mean water level
- Application description includes dimensions and surface areas of cleared areas and impervious surfaces
- Application includes photos of project area

H. Permit Application Fees

Administrative Fee: \$125.00		\$ 125.00
Impervious Area Fee: \$0.50 per square foot	Enter new impervious area as entered in item (5a.) _____ x .5	\$ 0-
Total:		\$ 125.-

Print Form

Submit this form and application fee, payable to:

State of Vermont
Vermont Department of Environmental Conservation
Watershed Management Division
Shoreland Permitting
1 National Life Drive, Main 2
Montpelier, VT 05620-3522

Direct all correspondence or questions to Shoreland Permitting
at: ANR.WSMDShoreland@vermont.gov

For additional information visit:
www.watershedmanagement.vt.gov

↑
TELECTRIC
SERV
LCC







MQ0196
1.1 Ac

MQ0195
1.07 Ac

MQ0198
0.68 Ac

Proposed BUDA AREA

BUILDING LOCATION IS
FURTHER FROM SHORE
THAN EXISTING
BUILDING.

54'
MQ0200
2.23 Ac

ASPHALT D/W (EXISTING)

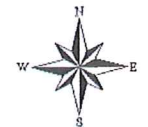
MAGNUM STAGE RD.

MQ0202
0.69 Ac

MQ0204

SPADARO PERMIT
Swanton, VT

1 Inch = 66 Feet
March 23, 2016





THIS HOME HAS BEEN DESIGNED SPECIFICALLY FOR:

MAUER

200 MAQUAM SHORE ROAD
ST. ALBANS, VT 05478
FRANKLIN COUNTY

BUILDER:
**MOUNTAIN
VIEW
MODULAR**

PTL#: 33482 STATE: VT
 PD QN SN SD

BUILDER: MOUNTAIN VIEW

CUSTOMER/PROJECT: MAUER



THIS DRAWING WAS EXTRACTED FROM APPROVED PLANS AND/OR APPROVED SYSTEMS DRAWINGS

NAME DATE

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ADJUSTMENTS MADE FOR CODE COMPLIANCE AND PRODUCTION CAPABILITY

DRAWING MAY BE REVERSED

CHECKED: WNC
DRAWN: YYD MJC JPF JPF MJC MJC

DESCRIPTION

DATE: 07-07-15
NO: PD1 QN1 FN1 FN2 FN3 FN4
7-30-15 10-9-15 11-16-15 1-28-16 2-10-16

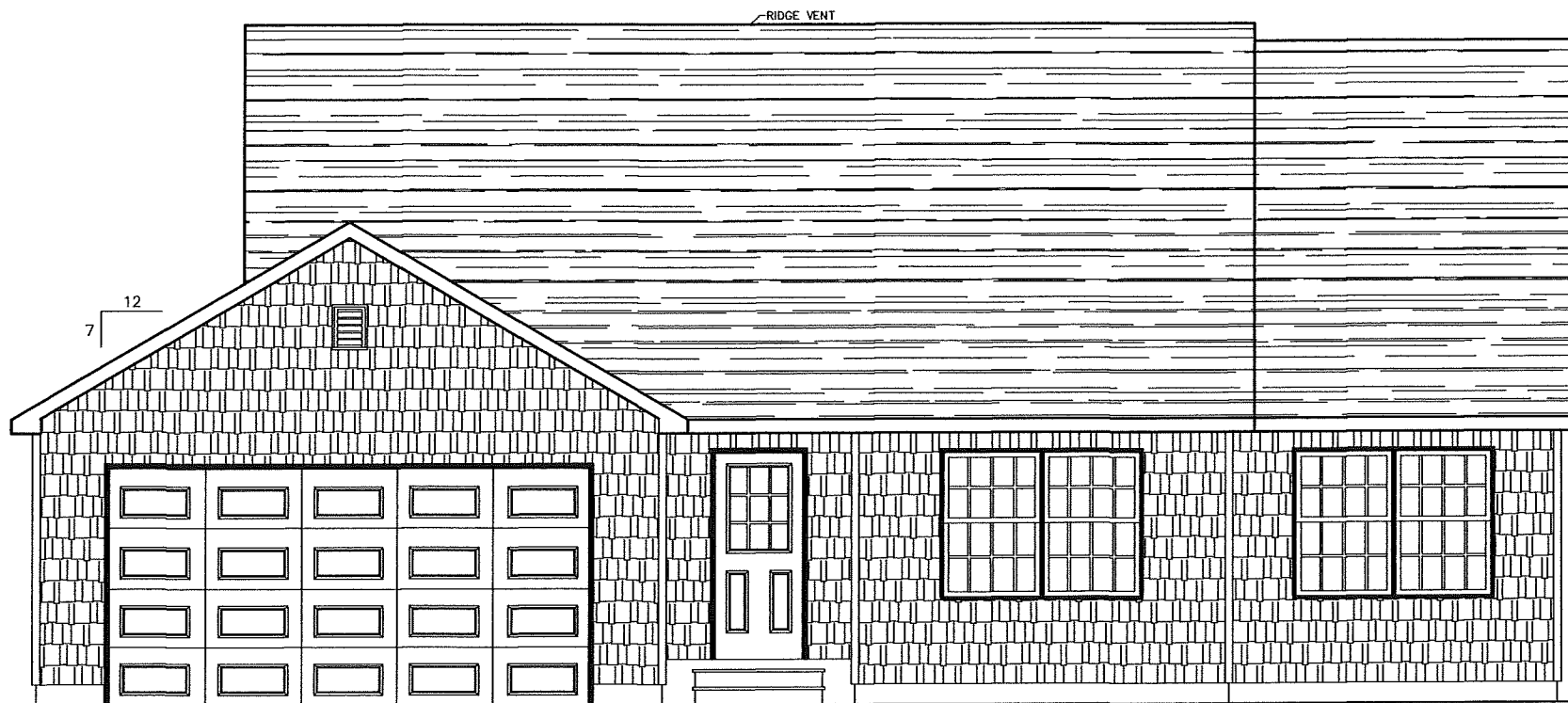
DRAWING TITLE: COVER SHEET

SCALE: NTS SHEET: 1

+/- 21'-9" TOP OF SILL TO PEAK

8'-0" 1ST FLOOR CEILING HEIGHT

1ST FLOOR FLOOR
TOP OF SILL
GRADE



FINISHED GRADE VARIES

SEE DOOR MANUFACTURER CATALOG FOR ACTUAL DOOR STYLE

COLUMNS, STEPS, RAILING, PORCH FLR. AND HEADER TO BE SUPPLIED AND INSTALLED BY BUILDER. TEMPORARY SUPPORT POSTS AND ROOF SYSTEM BY EXCEL HOMES, INC.

FRONT ELEVATION

SITE CONDITIONS:

GROUND SNOW LOAD:	40	PSF
WIND SPEED:	90	MPH 116 ULT.
EXPOSURE:	C	
SEISMIC CATEGORY:	C	
USE GROUP:	SINGLE FAMILY DWELLING OWNER OCCUPIED	
CONSTRUCTION TYPE:	VB WOOD FRAME UNPROTECTED	

SQUARE FOOTAGE:

FIRST FLOOR:	1,617	SQ. FT.
SECOND FLOOR:	-	SQ. FT.
BONUS ROOM:	-	SQ. FT.
GARAGE:	432	SQ. FT.
TOTAL:	2,049	SQ. FT.
OVERALL SIZE	56'-11" x 50'-2"	
MODEL:	RANCH	

NOTES:

- ITEMS SHOWN ON THE EXTERIOR ELEVATION DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY
- GRILLS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY (SEE WINDOW MANUFACTURER CATALOG FOR ACTUAL GRILL PATTERN)
- WINDOW INSTALLED WITHIN 24" OF THE FINISHED FLOOR, THE BUILDER WILL INSTALL WINDOW GUARDS IN ACCORDANCE WITH IRC (2006 IRC, R613.2) (2009 IRC, 612.2) (2012 IRC, R312.2)

PTL#: 33482 STATE: VT
 PD QN SN SD

BUILDER: MOUNTAIN VIEW

CUSTOMER/PROJECT: MAUER



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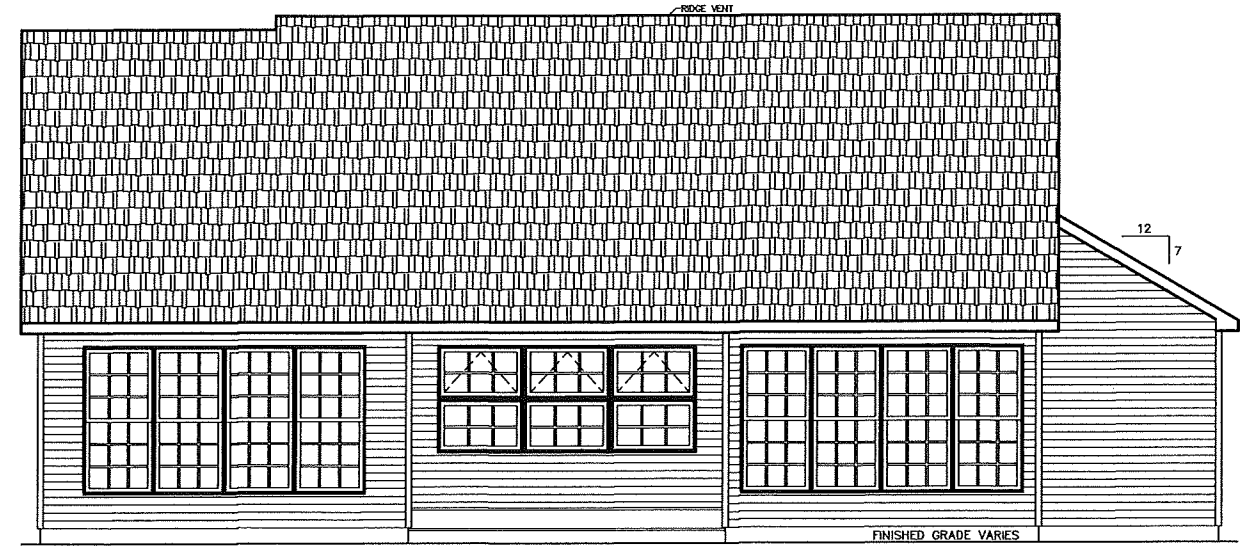
DRAWING MAY BE REVERSED

DRAWN: CHECKED: WNC
 YYD MJC JPF JPF MJC MJC

DESCRIPTION: . . .
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 NO: PD1 QN1 FN1 FN2 FN3 FN4
 7-30-15 10-8-15 11-16-15 1-28-16 2-10-16

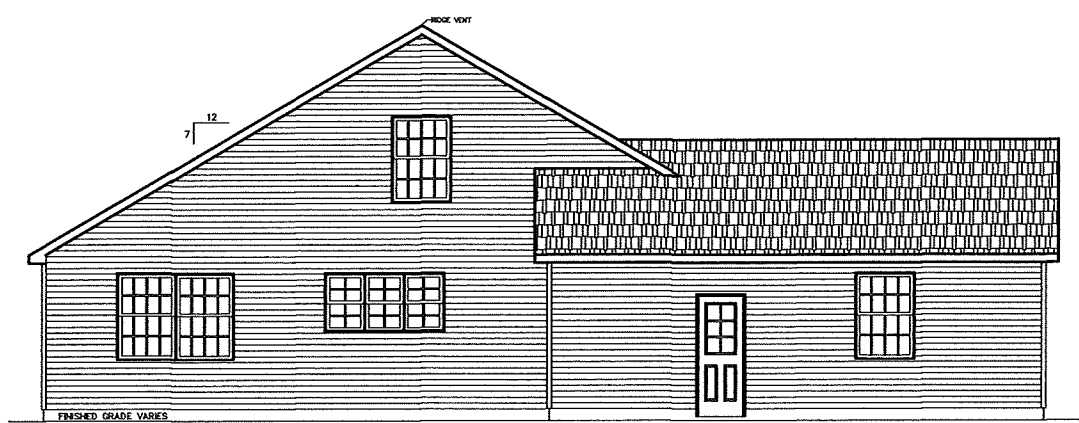
DRAWING TITLE: ELEVATIONS

SCALE: NTS SHEET: 2

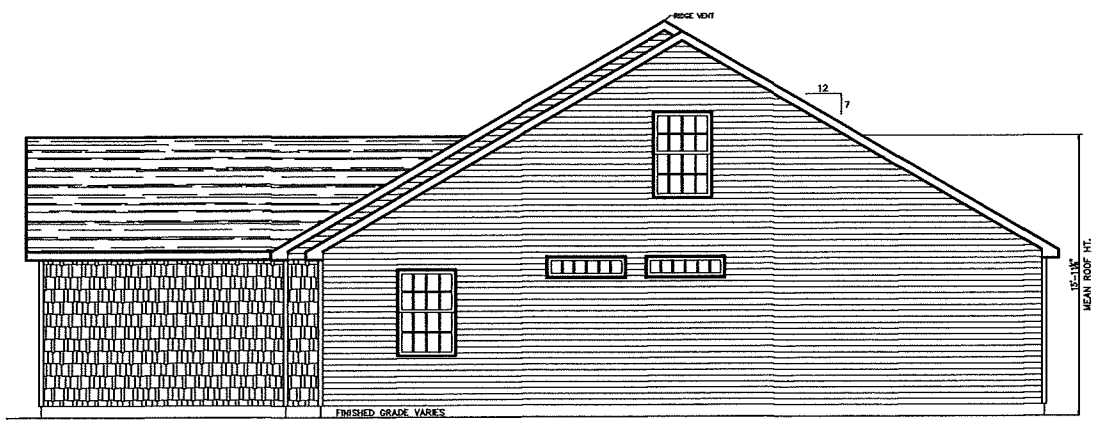


COLUMNS, STEPS, RAILING, PORCH FLR. AND HEADER TO BE SUPPLIED AND INSTALLED BY BUILDER. TEMPORARY SUPPORT POSTS AND ROOF SYSTEM BY EXCEL HOMES, INC.

REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

NOTES:
 1. ITEMS SHOWN ON THE EXTERIOR ELEVATION DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY



Property Card: 200 MAQUAM SHORE RD
Swanton, VT

<p>NO PHOTO AVAILABLE</p>	<p style="text-align: right;">Parcel ID: MQ0200</p> <p style="text-align: right;">Owner: MANGINE JAMES VINCENT Co-Owner: % SUSAN SPADARO Mailing Address: 44 DALE RD</p> <p style="text-align: right;">EAST CHESTER, NY 10709</p>
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Property Description: H+L
Book / Page: 227 / 596
School Code:
Status: A
SPAN: 639-201-11776
E911 Address: 200 MAQUAM SHORE RD
Sale Date: 18-Nov-05

Assessed Values:
Wood:
Crop:
Pasture: 0
Other: 0
Site: 2
Land: 200000
Building: 72300



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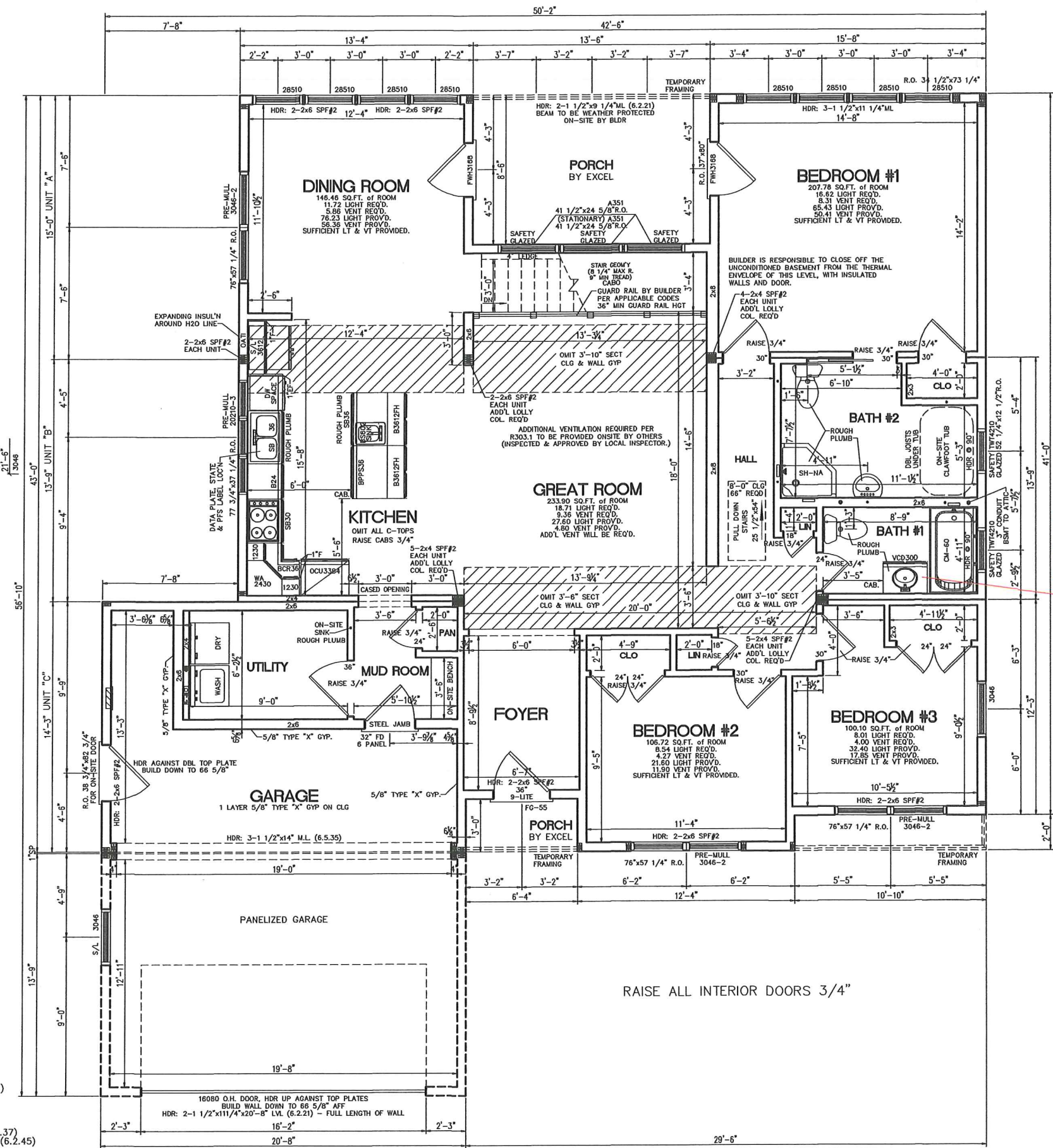
DRAWN: CHECKED:

YYD	MJC	WNC
JJC	JPF	MJC
JPF	MJC	MJC

DESCRIPTION

NO.	DATE	DESCRIPTION
PD1	07-07-15	
QN1	7-30-15	
FN1	10-9-15	
FN2	11-16-15	
FN3	1-28-16	
FN4	2-10-16	

DRAWING TITLE: FIRST FLOOR PLAN



VERMONT
 (RESIDENTIAL/SINGLE FAMILY OWNER OCCUPIED)
 2012 INTERNATIONAL RESIDENTIAL CODE
 STAIRS BUILT TO 92 CABO
 2012 LIFE SAFETY CODE, NFPA 101
 VT RESIDENTIAL BUILDING ENERGY CODE, 2.0 EDITION
 2011 NATIONAL ELECTRICAL CODE

- NOTES:
- 2x6 EXT WALLS @ 16" O.C./2x4 MARR WALLS @ 16" O.C. (EXCEPT AS NOTED)
 - 8'-0" CLG HT.
 - 2x10 SPF#2 FLOOR JOISTS @ 16" O.C.
 - ROOF SYSTEM TO BE 16" O.C.
 - ANDERSEN 400 SERIES WINDOWS
 - CLG BEAM OVER DR/GR TO BE: 1-1 1/2"x16"x31'-2" M.L. (PER MODULE)(6.2.37)
 - CLG BEAM OVER GR/FOYER TO BE: 2-1 1/2"x18"x22'-8" M.L. (PER MODULE)(6.2.45)
 - BASED ON 90 (116 ULT) MPH WIND LOAD & EXPOSURE "C"
 - BLDR INSTALLED HEATING SYSTEM TO COVER A 45,000 BTU LOSS
 - HEAT WAS CALCULATED W/ R-30 FLOOR INSULATION.
 - SITE LOCATION: ST. ALBANS, VT; FRANKLIN COUNTY; 40 PSF GROUND SNOW LOAD

BUILDER:
MOUNTAIN VIEW

CUSTOMER/PROJECT:
MAUER



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NAME _____ DATE _____

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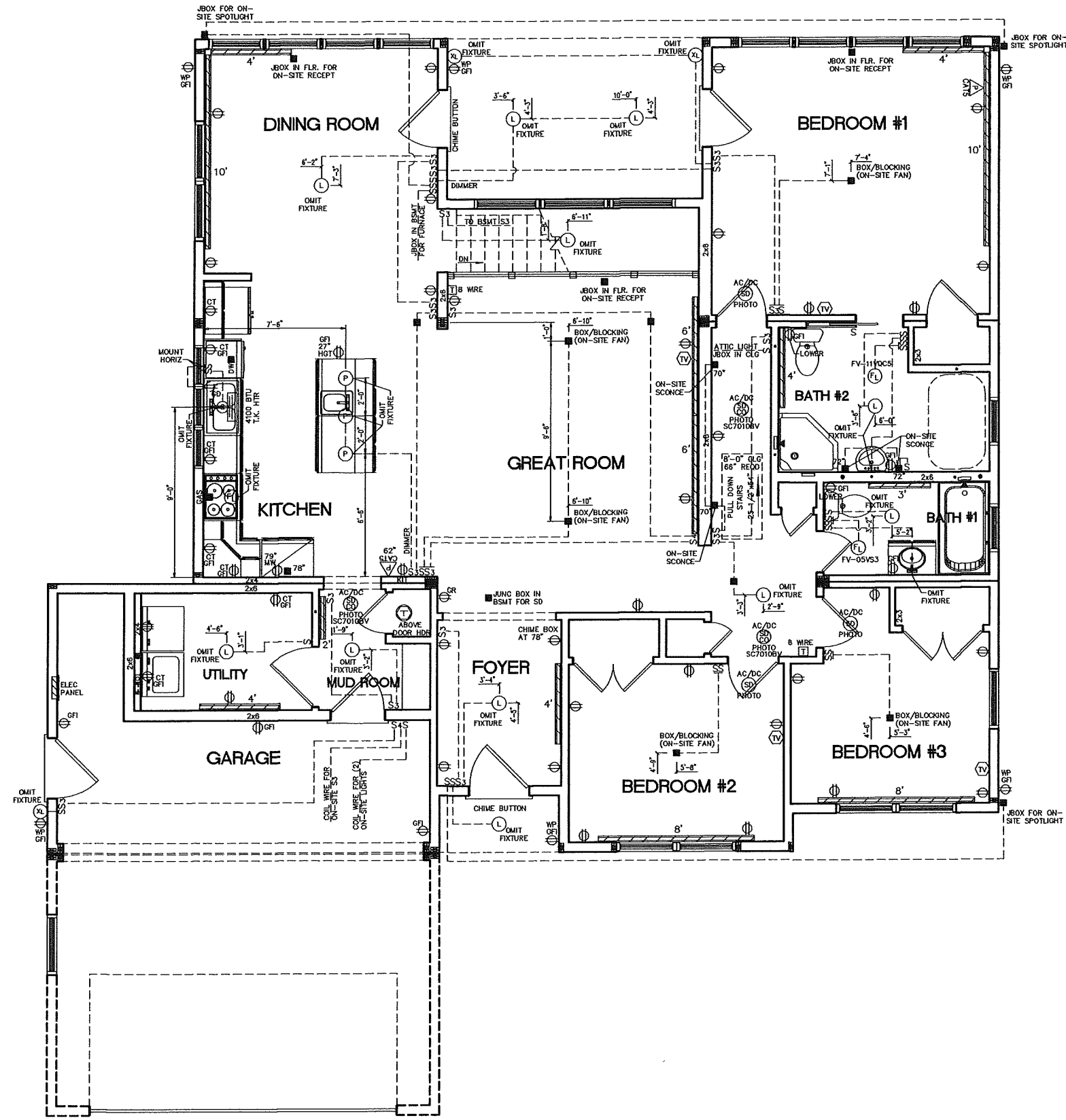
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 YYD MJC WNC
 JPF JPF
 MJC MJC

DESCRIPTION

NO: DATE:
 PD1 07-07-15
 QN1 7-30-15
 FN1 10-9-15
 FN2 11-16-15
 FN3 1-28-16
 FN4 2-10-16

DRAWING TITLE:
FIRST FLOOR ELECTRICAL PLAN

SCALE: NTS SHEET: 4



2014NEC

- * THIS PLAN MAY HAVE ADDITIONAL APPLIANCES/FIXTURES ADDED TO THE ELECTRICAL SCHEMATIC AND/OR PANEL BOX PROVIDING THE LOADING DOESN'T EXCEED THE MAXIMUM ALLOWED BY STATE & LOCAL CODES.
- * E-CUTOFF SWITCH ON-SITE BY OTHERS PER ALL STATE & LOCAL CODES.
- * ALL BRANCH CIRCUITS SUPPLYING 15 & 20 AMPERE OUTLETS IN LIVING SPACES ARE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER IN ACCORDANCE WITH SECTION 210.12 2014 NEC.
- * PER 406.12 OF 2014 NEC ALL 125 -VOLT, 15 AND 20 AMP RECEPITS INSTALLED IN AREAS SPECIFIED BY 210.52, SHALL BE LISTED TAMPER RESISTANT TYPE.
- * 50# LIGHT BOXES REQUIRED
- * HOT WATER BASEBOARD ELEMENTS

ATTENTION BUILDER: GARAGE RECEPITS ARE 30" UP FROM BOTTOM OF WALL

BUILDER:
MOUNTAIN VIEW

CUSTOMER/PROJECT:
MAUER



THIS DRAWING WAS EXTRACTED FROM APPROVED PLANS AND/OR APPROVED SYSTEMS DRAWINGS

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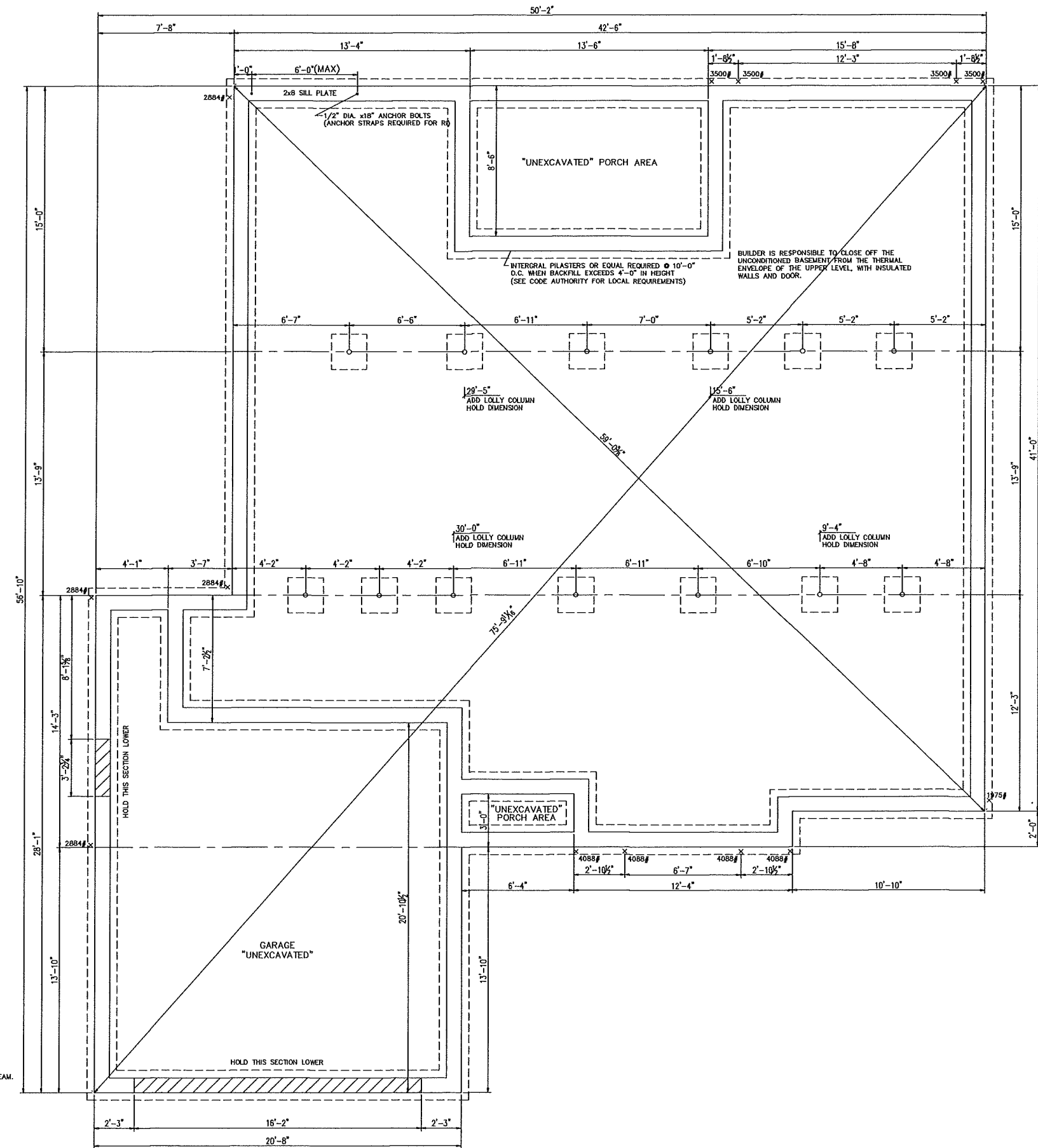
DRAWING MAY BE REVERSED

DRAWN: CHECKED:
 YYD WNC
 MJC JPF
 JPF MJC
 MJC MJC

NO.	DATE:	DESCRIPTION
PD1	07-07-15	
QNI	7-30-15	
FN1	10-9-15	
FN2	11-16-15	
FN3	1-28-16	
FN4	2-10-16	

DRAWING TITLE:
FOUNDATION PLAN

SCALE: NTS SHEET: 5



- NOTES:
- 1) THIS FOUNDATION DRAWING AND NOTES ARE FOR REVIEW ONLY. ACTUAL FOUNDATION DESIGN SHALL BE DESIGNED FOR YOUR SPECIFIC SITE AS REQUIRED PER LOCAL CODE.
 - 2) ALL CONSTRUCTION AND MATERIALS BELOW THE BOTTOM OF THE FLOOR JOISTS IS THE RESPONSIBILITY OF EXCEL HOMES' BUILDER, FOUNDATION WALL, FOOTER, LOLLY COLUMNS & PADS ARE ALL TO BE DETERMINED ON-SITE IN ACCORDANCE WITH LOCAL CODES & CONDITIONS
 - 3) REINFORCED MASONRY UNIT REQUIRED AT CENTER BEARING LOCATIONS.
 - 4) LOLLY COLUMNS ARE TO BE SPACED ACCORDING TO SPAN SCHEDULE BASED ON TYPE OF HOUSE, LOCAL SNOW LOAD & WIDTH OF UNIT. ADD'L COLUMNS MAY BE REQ'D & ARE NOTED ON FLOOR PLAN. LOLLY COLUMN SPACING IS BASED ON MIN. 1/2"x8"x12" STEEL PLATE BETWEEN COLUMN & CENTER BEAM.
 - 5) FOUNDATION IS TO BE CONSTRUCTED IN ACCORDANCE W/ ALL APPLICABLE CODES.
 - 6) FOUNDATION SIZES REFLECT WOOD TO WOOD DIMENSIONS OF MODULAR UNITS, ALLOWING SHEATHING AND SIDING TO OVERHANG THE FOUNDATION. IF STYROFOAM IS USED FOUNDATION MAY BE INCREASED IN LENGTH AND WIDTH TO ACCOMMODATE.
 - 7) PERIMETER FLOOR JOISTS TO BE ATTACHED TO SILL PLATE w/16d NAILS AT 16" O.C.
 - 8) INSTALLATION OF WASHER, DRYER AND/OR WATER HEATER IN BASEMENT PER STATE AND LOCAL CODES IS THE RESPONSIBILITY OF MODULAR MANUFACTURERS, BUILDER.
 - 9) SMOKE DETECTORS IN BASEMENT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO PROVIDE AND INSTALL. (COIL WIRE IN BSMT BY MODULAR MANUFACTURER, INC)
 - 10) CRAWL SPACE FOUNDATION REQUIRES A MINIMUM 18"x24" ACCESS OPENING, INSECT & RODENT PROOF CROSS VENTS WITHIN 3' OF CORNERS AND PROVIDE 1/150 OF FLOOR AREA WITH VENTILATION.
 - 11) SEE MODULAR MANUFACTURERS' SUBMISSION SET PAGE FOR ADDITIONAL NOTES AND DETAILS.
 - 12) GFCI RECP'T AND LIGHTS FOR BASEMENT AND CRAWLSPACES PER ALL STATE AND LOCAL CODES
 - 13) BACKFILLING AND TAMPING TO BE DONE PER LOCAL REQUIREMENTS