

Shoreland Permit Applicationfor a **Shoreland Protection Permit** under
Chapter 49A of Title 10, § 1441 *et seq.***For Shoreland Permitting Use Only**

Application Number:

273

VERMONT DEPARTMENT OF
ENVIRONMENTAL CONSERVATION**WATERSHED
MANAGEMENT DIVISION**

LAKES & PONDS PROGRAM

Public Notice: At the same time this application is filed with Shoreland Permitting, a copy of this application must be provided to the municipal clerk for posting in the municipality in which the project is located.Submission of this application constitutes notice that the person in Section A intends to create impervious surface and/or cleared area within the Protected Shoreland Area, and certifies that the project will comply with Chapter 49A of Title 10, § 1441 *et seq.* All information required on this form must be provided, and the requisite fees (Section G) must be submitted made payable to the State of Vermont, to be deemed complete. Refer to *The Vermont Shoreland Protection Act - A Handbook for Shoreland Development* and related instructions for guidance in completing this application.**A. Parcel Information**

1. Landowner's Name: William & Diane Rossi

2a. Physical Address (911 Address): 1479 West Shore Road

2b. Town - County: Cabot - Washington

2c. Zip: 05647

3. SPAN (The School Parcel Account Number is required for your application to be deemed complete. It can be obtained from your property tax bill. If you cannot locate your property tax bill, please obtain this information from your Town Clerk) : 177-036-10683

4. Phone: 802-563-6088

5. Email: dmbrossi@aol.com

6. Name of lake/pond: Joes Pond - Danville

7. Total shore frontage: 100.00 (feet)

8. Was the parcel of land created before July 1, 2014? Yes No9. Are there wetlands associated with this parcel? Yes NoContact the Wetlands Program: (802) 828-1535 or watershedmanagement.vt.gov/wetlands.htm.10. Have you ever applied for a permit with the Department of Environmental Conservation associated with this parcel?
 Yes No11. What is the surface area of your parcel within the Protected Shoreland Area (PSA): 17,424 (square feet)
See The Vermont Shoreland Protection Act - A Handbook for Shoreland Development, Appendix C, Determining Lakeside Zone & PSA12. What is the surface area of existing impervious surface on your parcel within the PSA: 6,340 (square feet)
See The Vermont Shoreland Protection Act - A Handbook for Shoreland Development, Appendix F, Calculating Percent Impervious Surface13. What is the surface area of existing cleared area on your parcel within the PSA: 16,586 (square feet)
See The Vermont Shoreland Protection Act - A Handbook for Shoreland Development, Appendix E, Calculating Percent Clearing**B. Applicant Contact Information**

1. Name: William & Diane Rossi

2a. Mailing Address: Post Office Box 228

2b. Municipality: Danville

2c. State: VT

2d. Zip: 05828

3. Phone: 802-563-6088

4. Email: wlrossi@aol.com

C. Application Preparer Information (If the individual preparing the application is not the landowner.)

1. Name: John D. Grenier, PE- Grenier Engineering, PC

2a. Mailing Address: Post Office Box 445

2b. Municipality: Waterbury

2c. State: Vermont

2d. Zip: 05676

3. Phone: 1-802-244-6413

4. Email: john@grenierengineering.com

D. Project Description

1. Describe the proposed project. For this application to be considered administratively complete you must attach site plans that denote existing and proposed cleared areas and impervious surface and their distances from mean water level, no fewer than three photos of the project area, and dimensions and associated surface areas of cleared areas and impervious surfaces.

To construct a 10' x 23' addition on the existing residence at 1479 West Shore Road in Cabot. The project also includes a small covered entry on the north side of the residence. Including roof overhangs the project involves 290 sf of new impervious area. The roof run off will flow off the new roof structure and will be collected and treated on site by utilizing a flat shallow grass swale. The project does not involve any further clearing. The site is less than a 20% slope and contains more than 20% existing impervious surface.

2. For developed parcels, how far is the existing habitable structure from Mean Water Level 45 (feet), and How far will new cleared area or impervious surface be from MWL 78 (feet)?

OR
For undeveloped parcels, how far will new cleared area or impervious surface be from MWL _____ (feet)?
See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix A – Estimating Mean Water Level

3. Can all new cleared area or impervious surface be set back at least 100 feet from MWL? Yes No
If no, explain why below (attach support information as needed):

The existing building is 45' +/- from MWL. The building addition is proposed away from the water side of the existing building, which is the furthest possible location from MWL to add to the existing building.

4a. What is the slope of the project site area: 4.00 %
See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix B, Determining Slope

4b. Is the slope of the project area less than 20%?
 Yes No If yes, skip 4c.

- 4c. If no above (4b), describe the measures taken to ensure the slope is stable, resulting in minimal erosion and impacts to water quality (attach support information as needed):

Not Applicable

5a. What is the surface area of new impervious surface associated with this project: 290.00 (square feet)
See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix F Calculating Percent Impervious Surface

5b. What is the total resulting impervious surface after completion of the project and prior to implementation of best management practices: 6,630.00 (square feet)
For D5b, add A12 to D5a

- 5c. Is the total in 5b. 20% or less of the parcel area within the PSA? Yes If yes, skip 5d. No
If 5a is 0, check the n/a box, otherwise divide 5b by A11 and multiply by 100 for percentage. Total percentage = _____% N/A

- 5d. If no above (5c), describe the best management practices used to manage, treat and control erosion from stormwater from the portion of impervious that exceeds 20% (attach support information as needed):

The roof run off will flow off the new roof structure and will be collected and treated on site by utilizing a flat shallow grass swale. Please see site plan for details.

<p>6a. What is the surface area of new cleared area associated with this project: <u>0.00</u> (square feet)</p> <p>See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix E, Calculating Percent Clearing</p>	<p>6b. What is the total resulting cleared area after completion of the project and prior to implementation of best management practices: <u>16,586.00</u> (square feet)</p> <p>For 6b, add A13 to D6a.</p>
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6c. Is the total in 6b. 40% or less of the parcel area within the PSA? Yes If yes, skip 6d. No
 If 6a is 0, check the n/a box, otherwise divide 6b by A11 and multiply by 100 for percentage. Total percentage = _____% N/A

6d. If no above (6c), describe the best management practices used to provide erosion control, bank stability, and wildlife habitat functionally equivalent to clearing less than 40% (attach support information as needed).
 Not Applicable.

E. Landowner Certification

As APPLICANT, I hereby certify that the statements presented on this application are true and accurate and recognize that by signing this application, I agree to complete all aspects of the project as authorized. I understand that failure to comply with the foregoing may result in violation of the Shoreland Protection Act, 10 V.S.A. Chapter 49A, and the Vermont Agency of Natural Resources may bring an enforcement action for violations of the Act pursuant to 10 V.S.A. chapter 201.

Applicant/Landowner Signature: *Niane Rossi* Date: 3/3/2016

F. Application Preparer Certification (if applicable)

As APPLICATION PREPARER, I hereby certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Application Preparer Signature: *[Signature]* Date: 3/24/2016

G. Additional Required Documentation *(Please check to ensure you have completed the following)*

- All sections of the application are complete (or otherwise indicate "not applicable")
- Application includes site plans denoting existing and proposed cleared area and impervious surface and distances from mean water level
- Application description includes dimensions and surface areas of cleared areas and impervious surfaces
- Application includes photos of project area

H. Permit Application Fees

Administrative Fee: \$125.00		\$ 125.00
Impervious Area Fee: \$0.50 per square foot	Enter new impervious area as entered in item (5a.) <u>290.00</u> x .5	\$ 145.00
Total:		\$ 270.00

Print Form

Submit this form and application fee, payable to:

State of Vermont
 Vermont Department of Environmental Conservation
 Watershed Management Division
 Shoreland Permitting
 1 National Life Drive, Main 2
 Montpelier, VT 05620-3522

Direct all correspondence or questions to Shoreland Permitting
 at: ANR.WSMDSHoreland@vermont.gov





GRENIER
ENGINEERING, PC

Mark Mitchell, Environmental Analyst
VT DEC

Watershed Management Division
Shoreland Permitting
1 National Life Drive, Main 2
Montpelier, VT 05620-3522



March 24, 2016

RE: Building Addition for Existing Residence on Joe's Pond. William and Diane Rossi.
1479 West Shore Road in Cabot.

Dear Mark,

Please find enclosed a Shoreland Permit Application, 2 copies of the site plan, a location map, and a fee check made payable to State of Vermont for \$270.00 to cover the fee.

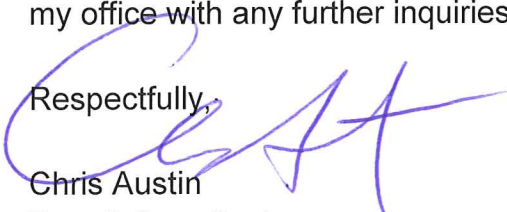
William and Diane Rossi are applying to construct a 10' x 23' addition to their existing residence at 1479 West Shore Road in Cabot. The existing lot is 0.4 +/- acres and is located within the shoreland protection area. The lot exceeds 20% of total existing impervious cover. The lot does not contain any steep slopes and averages approximately a 4% grade.

The building addition is proposed to the west side of the residence, away from the shoreline of Joe's Pond. The project also includes a small covered entry on the north side of the residence. No additional tree clearing is necessary for the project. The project results in an additional 290 square feet of impervious area (includes roof overhang).

The proposed site plan depicts treatment for the new impervious area associated with the building addition through collection of runoff via a drip edge gutter. The gutter will outlet to a proposed shallow grass swale. The native soils on site are a well drained Vershire-Dummerston complex which will help promote infiltration of runoff.

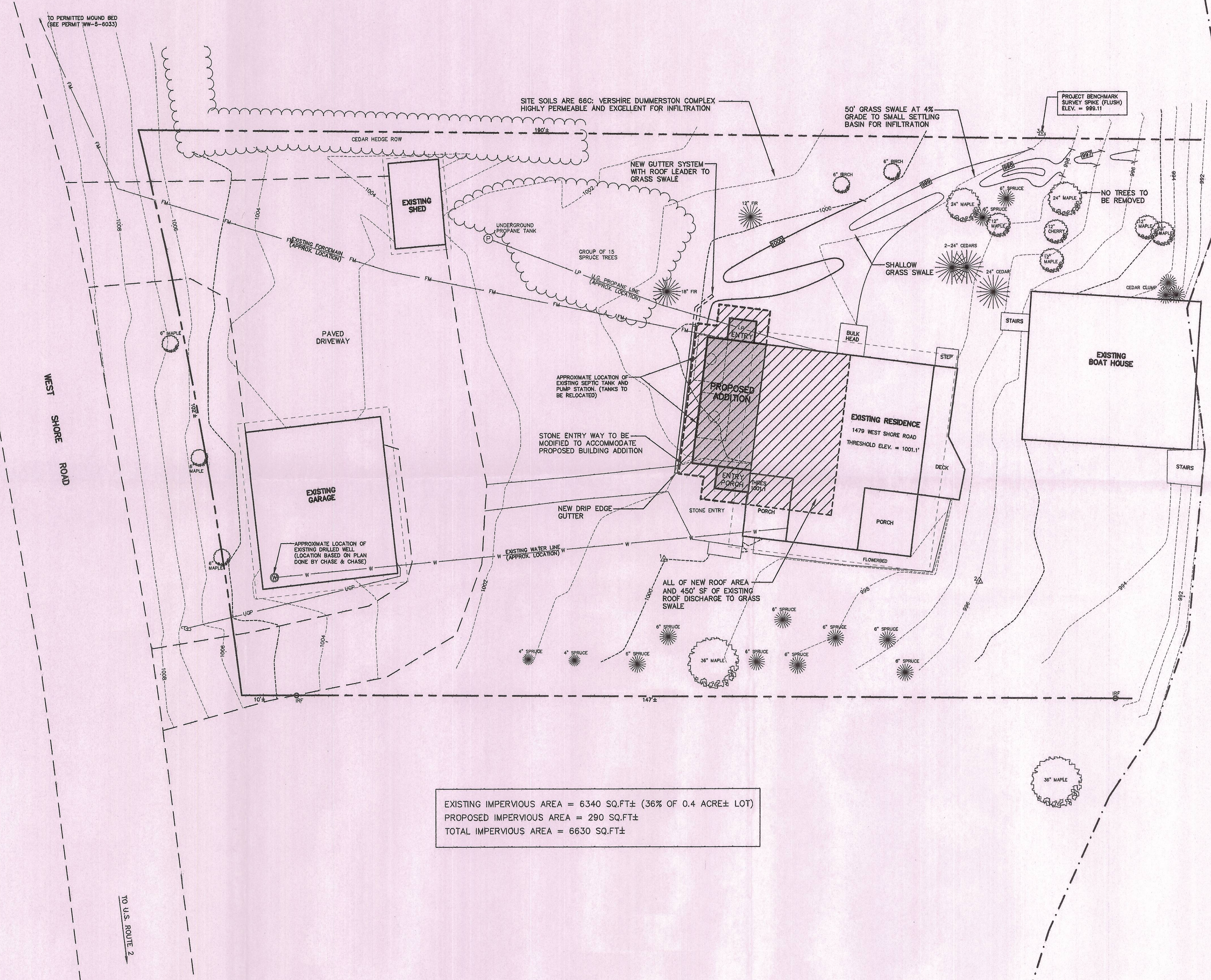
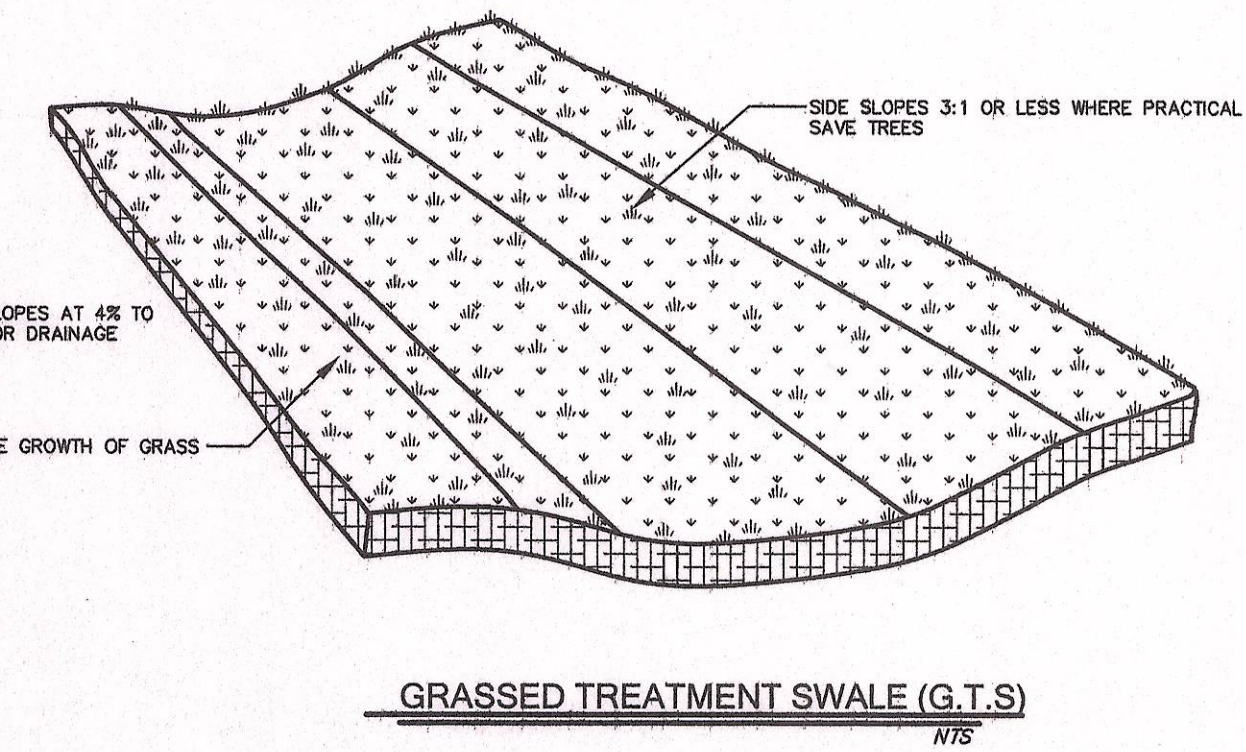
Thank you for your consideration of this matter. Please do not hesitate to contact my office with any further inquiries regarding this project.

Respectfully,


Chris Austin
Permit Coordinator
Grenier Engineering, PC

Enclosures

CC: William & Diane Rossi



LEGEND

	SURVEY CONTROL POINT
	IRON ROD
	UTILITY POLE
	DRILLED WELL
	EXISTING CONTOURS
	FINISHED CONTOURS
	PROPERTY LINE
	EDGE OF GRAVEL ROAD
	EDGE OF WATER
	EXISTING TREE LINE
	UNDERGROUND POWER
	EXISTING WATERLINE
	EXISTING FOREMAIN

No.	Date	Revision	By

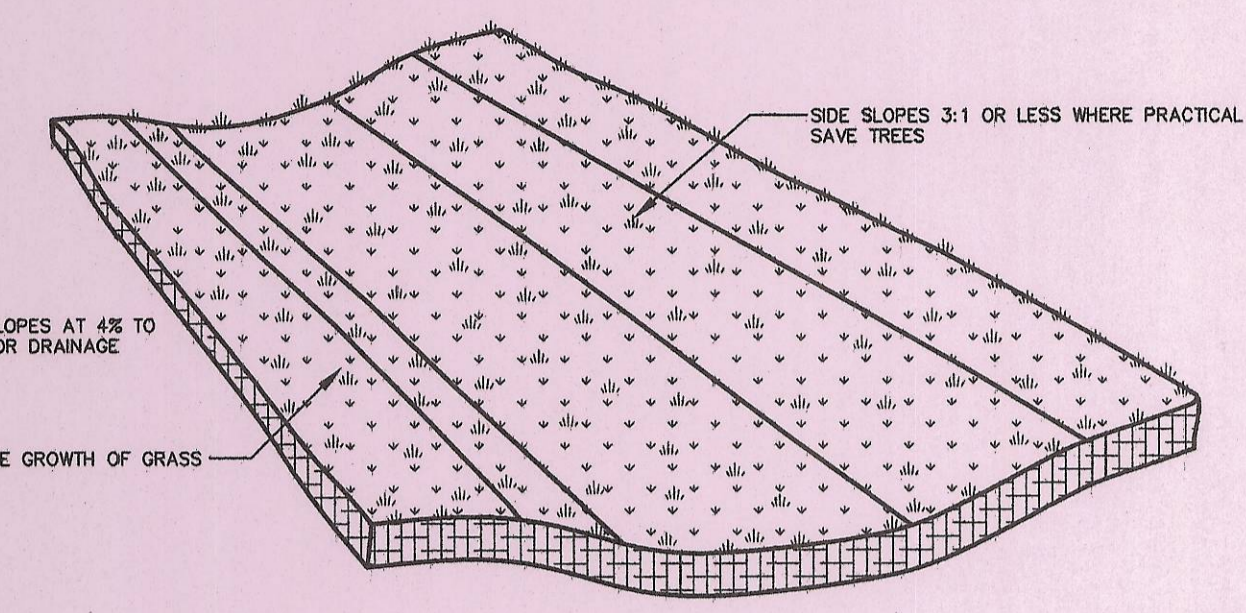
SITE PLAN

WILLIAM & DIANE ROSSI
1479 WEST SHORE ROAD CABOT

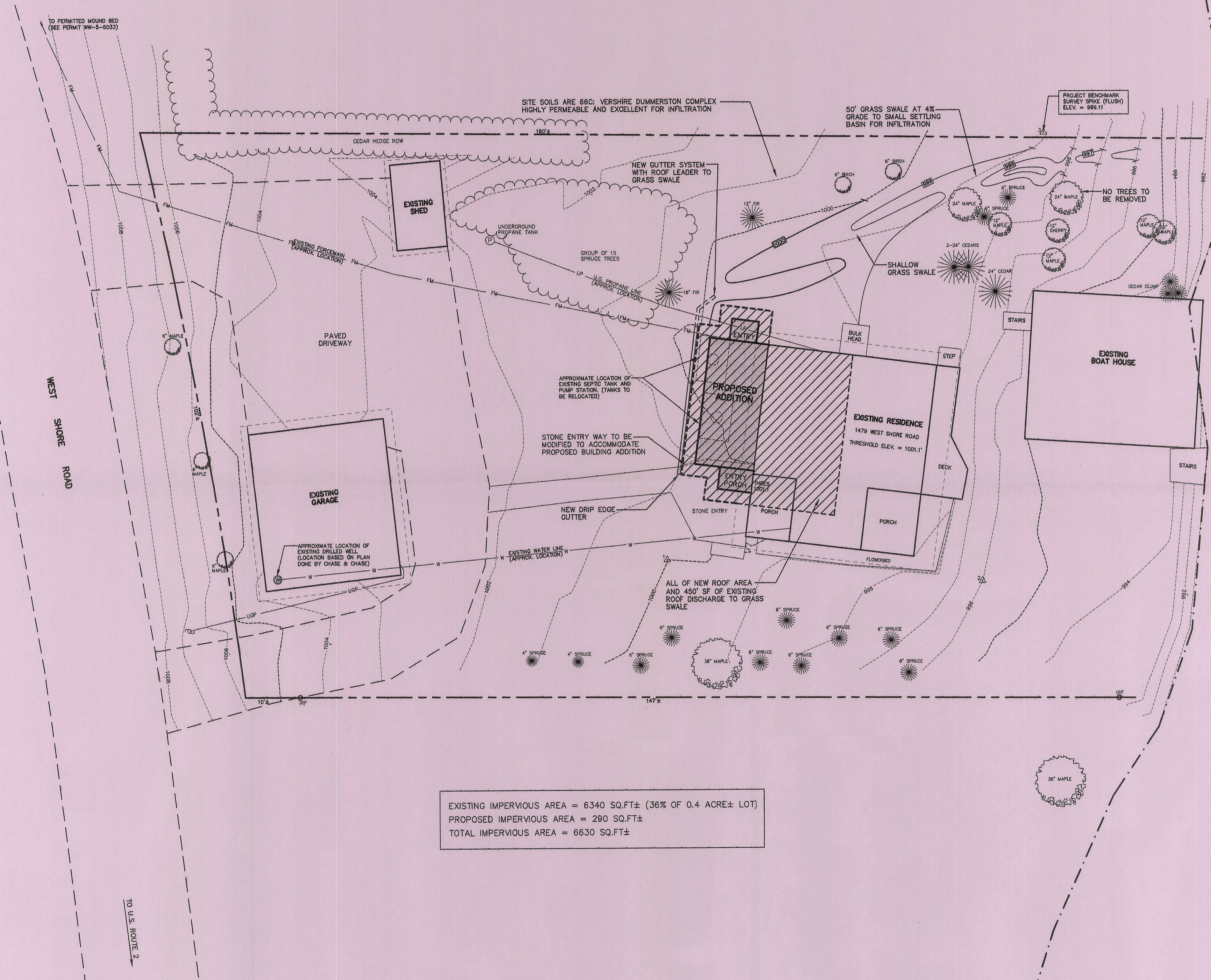
GRENIER ENGINEERING, PC

P.O. Box 445
Waterbury, VT 05676
TEL (802) 244-6413
FAX (802) 244-1572
grenierengineering.com

Date: 3.24.16
Dwn By: AJL/TJM
Scale: 1" = 10'
Sheet No: 1 of 1
Dwg Name: ROSSI SP
File No: XXX

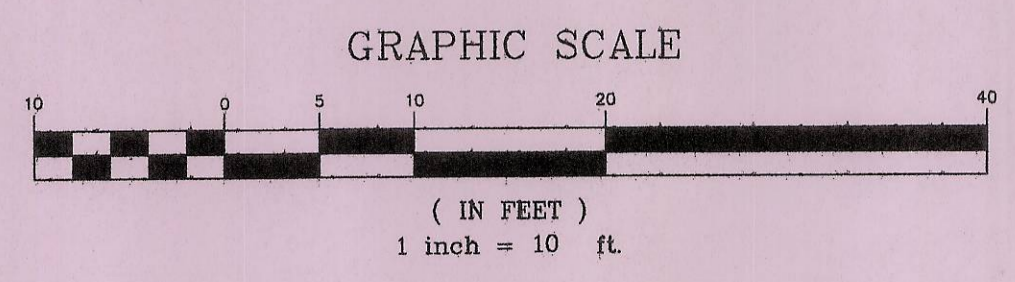


GRASSSED TREATMENT SWALE (G.T.S.)
N7S

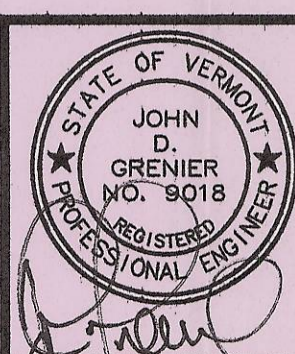


EXISTING IMPERVIOUS AREA = 6340 SQ.FT± (36% OF 0.4 ACRE± LOT)
PROPOSED IMPERVIOUS AREA = 290 SQ.FT±
TOTAL IMPERVIOUS AREA = 6630 SQ.FT±

LEGEND	
	SURVEY CONTROL POINT
	IRON ROD
	UTILITY POLE
	DRILLED WELL
	EXISTING CONTOURS
	FINISHED CONTOURS
	PROPERTY LINE
	EDGE OF GRAVEL ROAD
	EDGE OF WATER
	EXISTING TREELINE
	UNDERGROUND POWER
	EXISTING WATERLINE
	EXISTING FORCEMAIN



No.	Date	Revision	By



SITE PLAN
WILLIAM & DIANE ROSSI
1479 WEST SHORE ROAD CABOT

GRENIER
ENGINEERING, PC

P.O. Box 445
Waterbury, VT 05676
TEL (802) 244-6413
FAX (802) 244-1572
grenierengineering.com

Date: 3.24.16
Dm By: AJL/TJM
Scale: 1" = 10'
Sheet No: 1 of 1
Dwg Name: ROSSI.SP
File No: XXX