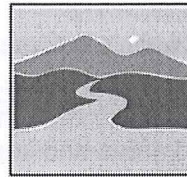


**Shoreland Permit Application**for a **Shoreland Protection Permit** under  
Chapter 49A of Title 10, § 1441 *et seq.***For Shoreland Permitting Use Only**

Application Number: 268

VERMONT DEPARTMENT OF  
ENVIRONMENTAL CONSERVATION**WATERSHED  
MANAGEMENT DIVISION**

LAKES &amp; PONDS PROGRAM

**Public Notice:** At the same time this application is filed with Shoreland Permitting, a copy of this application must be provided to the municipal clerk for posting in the municipality in which the project is located.Submission of this application constitutes notice that the person in Section A intends to create impervious surface and/or cleared area within the Protected Shoreland Area, and certifies that the project will comply with Chapter 49A of Title 10, § 1441 *et seq.* All information required on this form must be provided, and the requisite fees (Section G) must be submitted made payable to the State of Vermont, to be deemed complete. Refer to *The Vermont Shoreland Protection Act - A Handbook for Shoreland Development* and related instructions for guidance in completing this application.**A. Parcel Information**

1. Landowner's Name: Margaret and Alban Richey

2a. Physical Address (911 Address): 422 North Shore Rd

2b. Town - County: Danville - Caledonia

2c. Zip: 05828

3. SPAN\*: 174-055-11165

4. Phone: 802-223-6560

5. Email:

6. Name of lake/pond: Joes Pond - Danville

7. Total shore frontage: 400.00 (feet)

8. Was the parcel of land created before July 1, 2014?  Yes  No9. Are there wetlands associated with this parcel?  Yes  NoContact the Wetlands Program: (802) 828-1535 or [www.anr.state.vt.us/dec/waterq/wetlands.htm](http://www.anr.state.vt.us/dec/waterq/wetlands.htm).10. Is there a lake encroachment permit associated with this parcel?  Yes  No Permit #: \_\_\_\_\_Contact Lake Encroachment Permitting: [www.anr.state.vt.us/dec/waterq/permits/html/pm\\_encroachment.htm](http://www.anr.state.vt.us/dec/waterq/permits/html/pm_encroachment.htm)

11. What is the surface area of your parcel within the Protected Shoreland Area (PSA): 74,052 (square feet)

See The Vermont Shoreland Protection Act - A Handbook for Shoreland Development, Appendix C, Determining Lakeside Zone &amp; PSA

12. What is the surface area of existing impervious surface on your parcel within the PSA: 5,750 (square feet)

See The Vermont Shoreland Protection Act - A Handbook for Shoreland Development, Appendix F, Calculating Percent Impervious Surface

13. What is the surface area of existing cleared area on your parcel within the PSA: 67,000 (square feet)

See The Vermont Shoreland Protection Act - A Handbook for Shoreland Development, Appendix E, Calculating Percent Clearing

**B. Applicant Contact Information**

1. Name: Margaret and Alban Richey

2a. Mailing Address: 171 Westview Meadows Road, APT 6

2b. Municipality: Montpelier

2c. State: Vermont

2d. Zip: 05602-3391

3. Phone: 802-223-6560

4. Email:

**C. Application Preparer Information** (if the individual preparing the application is not the landowner)

1. Name: David L. Frothingham III

2a. Mailing Address: PO Box 1576

2b. Municipality: Montpelier

2c. State: Vermont

2d. Zip: 05601-1576

3. Phone: 802-223-4727

4. Email: [david.frothingham@dirsteel.com](mailto:david.frothingham@dirsteel.com)

\*SPAN: The "School Parcel Account Number" is required for your application to be deemed complete. It can be obtained from your property tax bill. If you cannot locate your property tax bill, please obtain this information from your Town Clerk. SPAN is a unique identification number for each parcel of property in the State of Vermont consisting of eleven digits. The first three digits identify the town; the next three digits identify the school district; and the last five digits represent the unique parcel or property.

**D. Project Description**

1. Describe the proposed project. For this application to be considered administratively complete you must attach site plans that denote existing and proposed cleared areas and impervious surface and their distances from mean water level, no fewer than three photos of the project area, and dimensions and associated surface areas of cleared areas and impervious surfaces.

The Richey's are proposing to construct an addition to their camp at Joe's Pond. The 74,052 sf parcel has an existing impervious area of 5,750 sf and a total cleared area of about 67,000 sf. The addition is proposed to be located at the northwest end of the camp and will extend 14' off from the existing camp which is about 42 feet from MWL. The new impervious area created will total 168 sf. The total cleared area on the property would be increased by 40 sf. The distance from MWL to the proposed cleared/impervious area is 52 feet.

2. For developed parcels, how far is the existing habitable structure from Mean Water Level 42 (feet), and how far will new cleared area or impervious surface be from MWL 52 (feet)?

**OR**

For undeveloped parcels, how far will new cleared area or impervious surface be from MWL \_\_\_\_\_ (feet)?

See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix A – Estimating Mean Water Level

3. Can all new cleared area or impervious surface be set back at least 100 feet from MWL?  Yes  No  
If no, explain why below (attach support information as needed):

The proposed project is an addition to an existing building which is about 42 feet from MWL, the proposed addition and clearing does not reduce this distance as it is proposed to be at least 52 feet away from MWL.

4a. What is the slope of the project site area: 15.00 %  
See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix B, Determining Slope

4b. Is the slope of the project area less than 20%?  
 Yes  No If yes, skip 4c.

4c. If no above (4b), describe the measures taken to ensure the slope is stable, resulting in minimal erosion and impacts to water quality (attach support information as needed):

N/A

5a. What is the surface area of new impervious surface associated with this project: 168.00 (square feet)  
See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix F Calculating Percent Impervious Surface

5b. What is the total resulting impervious surface after completion of the project and prior to implementation of best management practices: 5,918.00 (square feet) and is that 20% or less of the parcel area within the PSA?  Yes  No  
If yes, skip 5c.

5c. If no above (5b), describe the best management practices used to manage, treat and control erosion from stormwater from the portion of impervious that exceeds 20% (attach support information as needed).

N/A



<p>6a. What is the surface area of new cleared area associated with this project: <u>40.0</u> (square feet)                  See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix E, Calculating Percent Clearing</p>	<p>6b. What is the total resulting cleared area* after completion of the project and prior to implementation of best management practices: <u>67,040</u> (square feet) and is that 40% or less of the parcel area within the PSA? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, skip 6c. *Total cleared area includes impervious surface area.</p>
--	--

6c. If no above (6b), describe the best management practices used to provide erosion control, bank stability, and wildlife habitat functionally equivalent to clearing less than 40% (attach support information as needed).

The parcel is already mostly cleared and has well established grass cover and a few individual trees, this project proposes an increase in cleared area of 40 sf.

Within construction limits: On slopes greater than 1:4 erosion control matting will be installed, there will be no slopes greater than 1:3. Silt fences are to be used during construction. After construction, grass cover will be re-established in disturbed/cleared areas. The sewer line can not have trees within 10 feet as it will jeopardize the line. To offset this increase in cleared area the applicant proposes to plan two maples along the top of bank of the stream to the southwest of the camp. These tree, when grown, will provide shade to the stream and more than cover the required 40 sf. (update via email on 3/31/15 - M.M.)

**E. Landowner Certification**  
 As APPLICANT, I hereby certify that the statements presented on this application are true and accurate and recognize that by signing this application, I agree to complete all aspects of the project as authorized. I understand that failure to comply with the foregoing may result in violation of the Shoreland Protection Act, 10 V.S.A. Chapter 49A, and the Vermont Agency of Natural Resources may bring an enforcement action for violations of the Act pursuant to 10 V.S.A. chapter 201.

Applicant/Landowner Signature: *Alban Richey* *Margaret Richey by Alban Richey* Date: 3/2/16

**F. Application Preparer Certification** (if applicable)  
 As APPLICATION PREPARER, I hereby certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Application Preparer Signature: *Don L. Fredrickson* Date: 3/8/16

**G. Additional Required Documentation** (please check to ensure you have completed the following)

- All sections of the application are complete (or otherwise indicate "not applicable")
- Application includes site plans denoting existing and proposed cleared area and impervious surface and distances from mean water level
- Application description includes dimensions and surface areas of cleared areas and impervious surfaces
- Application includes photos of project area

**H. Permit Application Fees**

Administrative Fee: \$125.00		\$ 125.00
Impervious Area Fee: \$0.50 per square foot	Enter new impervious area as entered in item (5a.) <u>1682</u> x .5	\$ <u>84.00</u>
<b>Total:</b>		\$ <u>209.00</u>

Print Form

**Submit this form and application fee, payable to:**  
 State of Vermont  
 Vermont Department of Environmental Conservation  
 Watershed Management Division  
 Shoreland Permitting  
 1 National Life Drive, Main 2  
 Montpelier, VT 05620-3522

Christopher J. Temple, PE  
President

David L. Frothingham III, PE  
Vice President



Nicole D. Crum, PE  
Zarabeth M. Duell, PE  
Alicia A. Feiler, PE  
Nathan M. Phillips, PE  
John J. Svagzdys, PE

March 9, 2016

Mark Mitchell  
Vermont Department of Environmental Conservation  
Watershed Management Division  
Shoreland Permitting  
1 National Life Drive, Main 2  
Montpelier, VT 05620-3522



Surveying  
Permitting  
Site Design  
Subdivisions  
Timber Design  
Expert Testimony  
Site Development  
Act 250 Permitting  
Forensic Engineering  
Environmental Permitting  
Transportation Engineering  
Structural Inspection Services  
Commercial Building Design  
Construction Oversight  
Building Assessment  
Pedestrian Bridges  
Stream Alterations  
Sewer Design  
Water Supply  
Storm Water  
Hydrology  
Grading

Reference: **Richey Camp Addition, Danville, Vermont**

Dear Mark:

Please find enclosed a Shoreland Permit Application for the Richey Camp Addition project at 422 North Shore Road in Danville, Vermont. The Richey's are proposing to construct an addition to their camp at Joe's Pond. The addition is proposed to be located on the northwest end of the camp and will extend 14' from the existing camp. This will require the relocation of an existing sewer force main. The 1.7 acre parcel currently has 2 camps with gravel drives as well as a garage and 2 shed which total 5,750 sf of impervious. The site currently has about 67,000 of cleared grass space. The entire parcel is located within the Protected Shorelands Area (PSA). The proposed addition will create 168 sf of additional impervious surface and about 40 sf of additional clearing on the property.

If you have any questions, please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink that reads "David L. Frothingham III".

David L. Frothingham III, P.E.

Enclosures

Site Plan  
Site Photos

Cc: Margaret and Alban Richey  
Chris Bissell

317 River Street  
P. O. Box 1576  
Montpelier, VT  
05601-1576  
phone: 802.223.4727  
fax: 802.223.4740  
www.dirtsteel.com

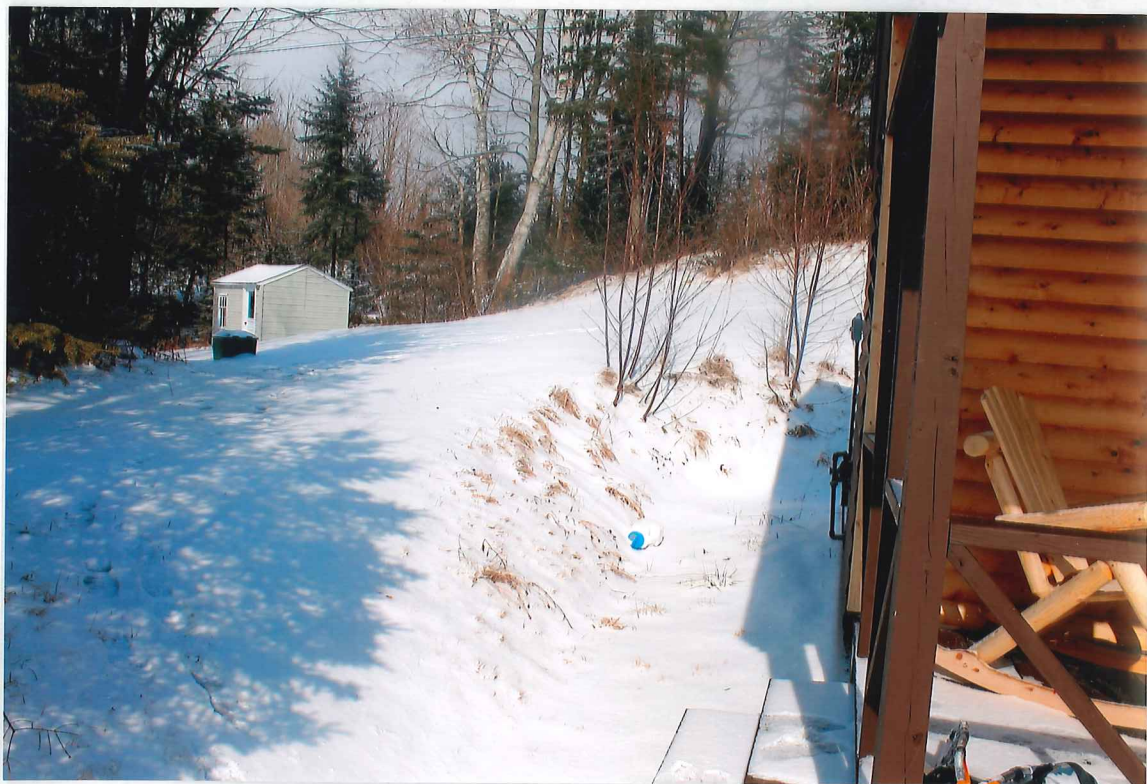


















LEGEND

Table with columns for EXISTING and PROPOSED symbols. Includes symbols for PROPERTY LINE, ABUTTER'S PROPERTY LINE, EASEMENT LINE, RIGHT OF WAY LINE, ZONING SETBACK LINE, ZONING BOUNDARY, TOWN LINE, SOIL TYPE BOUNDARY, MAJOR CONTOUR (500), MINOR CONTOUR (501), BUILDINGS, BUILDING OVERHANG, ROADWAY CENTERLINE, EDGE OF PAVEMENT, CURB, EDGE OF GRAVEL, TRAIL, STONE WALL, TREE LINE, EDGE OF WETLANDS, WETLAND/SHORELINE BUFFER, EDGE OF WATER, FLOOD PLAIN BOUNDARY, DITCH LINE, CONCRETE PAD, BARBED WIRE FENCE, CHAIN LINK FENCE, WOOD RAIL, GUARDRAIL, STORM DRAIN LINE, SEWER LINE, FORCE MAIN LINE, WATER LINE, GAS LINE, STEAM LINE, FIRE WATER LINE, UNDERGROUND ELECTRIC, OVERHEAD ELECTRIC, UNDERGROUND UTILITY, OVERHEAD UTILITY, UNDERGROUND UTILITY & ELECTRIC, OVERHEAD UTILITY & ELECTRIC, CONSTRUCTION FENCE/LIMIT OF DISTURBANCE, SILT FENCE, SILT CURTAIN, COFFER DAM, SIGN, LIGHTS, MONITORING WELLS, BORING LOCATIONS, TEST PITS, SPOT GRADES, CATCH BASINS, CLEAN OUTS, DRAINAGE MANHOLES, ELECTRIC PADS/HANDHOLDS, GATES VALVES, HYDRANTS, SEWER MANHOLES, TELEPHONE/UTILITY PADS & VAULTS, UTILITY POLES, POTABLE WATER WELLS, WATER SHUT OFFS, GUY POLES, GUY WIRES, CATCH BASIN SEDIMENT TRAPS, HAY BALES, STONE CHECK DAM, STONE INLET PROTECTION, DECIDUOUS TREES, EVERGREEN TREES, CONCRETE BOUNDARY MONUMENT, IRON ROD/PIPE BOUNDARY MONUMENT, MAILBOX, STONE LINING, EROSION CONTROL MATTING, SNOW STORAGE AREAS.

STANDARD ABBREVIATIONS

Table of standard abbreviations: BCC - BITUMINOUS CONCRETE CURB, VGC - VERTICAL GRANITE CURB, SGC - SLOPED GRANITE CURB, CXC - CAST-IN-PLACE CONCRETE CURB, PCC - PRECAST CONCRETE CURB, ICC - INTEGRAL CONCRETE CURB, RCC - REINFORCED CONCRETE CURB, BCP - BITUMINOUS CONCRETE PAVEMENT, GRV - GRAVEL DRIVE SURFACE, PCS - PORTLAND CEMENT CONCRETE SIDEWALK, BCS - BITUMINOUS CONCRETE SIDEWALK, CB - CATCH BASIN, DMH - DRAINAGE MANHOLE, SMH - SEWER MANHOLE.

GENERAL NOTES

- 1 GENERAL: 1.1 ALL WORK SHALL BE PERFORMED IN A FIRST CLASS MANNER... 1.2 ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE... 1.3 THE LIMITS OF SITE WATER AND SEWER WORK SHALL TERMINATE 2'-0" INSIDE THE BUILDING... 1.4 GAS AND ELECTRIC LINES SHALL BE EXCAVATED AND BACKFILLED... 1.5 USE THESE CIVIL DRAWINGS IN CONJUNCTION WITH THE ARCHITECTURAL, STRUCTURAL, ELECTRICAL, LANDSCAPING & MECHANICAL DRAWINGS... 1.6 ALL DIMENSIONS AND ELEVATIONS SHOWN MUST BE VERIFIED... 1.7 CONTRACTOR SHALL PROTECT EXISTING FACILITIES... 1.8 CONTRACTOR IS RESPONSIBLE FOR ADEQUATE BRACING OF WALLS AND/OR SHORING... 1.9 THE CONTRACTOR SHALL REVIEW AND STAMP ALL SHOP DRAWINGS... 1.10 BACKFILL INSIDE OF FOUNDATION WALLS, UNDER CONCRETE SURFACES... 1.11 GENERAL BACKFILL SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY... 2 CONCRETE: 2.1 ALL CONCRETE AND REINFORCING WORK SHALL BE IN STRICT ACCORDANCE... 2.2 MAXIMUM W/C RATIO FOR 4000 PSI CONCRETE: 0.44... 2.3 CONCRETE SHALL BE PROTECTED FROM FREEZING... 2.4 ALL CONCRETE SHALL BE PLACED IN THE DRY... 2.5 CONCRETE SHALL BE SO PROPORTIONED... 2.6 THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS... 2.7 SLABS SHALL BE WET CURED USING BURLAP COVER... 2.8 DURING PLACEMENT OF CONCRETE, USE TREMIE OR OTHER MEANS... 2.9 CONCRETE SHALL BE CONSOLIDATED BY VIBRATION... 3 REINFORCING STEEL: 3.1 REINFORCING STEEL SHALL BE NEW BILLET STEEL... 3.2 THE MINIMUM CLEAR DISTANCE FROM REINF. STEEL TO ADJACENT SURFACE... 3.3 PROVIDE LAP SPICES OF ALL SLAB REINFORCEMENT... 3.4 REINFORCEMENT SHALL BE SECURELY TIED... 4 PRECAST CONCRETE: 4.1 PRECAST CONCRETE SHALL BE THE PRODUCT OF A MANUFACTURER... 4.1.1 THE SUPERIMPOSED DESIGN LOADS ON ALL BURIED STRUCTURES... 5 MATERIAL SPECIFICATIONS: 5.1 MATERIALS NOT SPECIFIED HEREIN SHALL MEET OR EXCEED VERMONT AGENCY OF TRANSPORTATION (VAOT) STANDARD SPECIFICATIONS... 5.2 GENERAL FILL SHALL BE A COMPACTABLE SAND OR GRAVEL... 5.3 BANK RUN GRAVEL SHALL BE FREE FROM LOAM, SILT, CLAY... 5.4 CRUSHED BANK RUN GRAVEL SHALL BE FREE FROM LOAM, SILT, CLAY... 6 PROJECT PERMITS: 6.1 LOCAL APPROVALS... 6.2 VERMONT DRINKING WATER AND GROUNDWATER PROTECTION DIVISION... 6.3 VERMONT WATERSHED MANAGEMENT DIVISION...

EROSION CONTROL DURING CONSTRUCTION

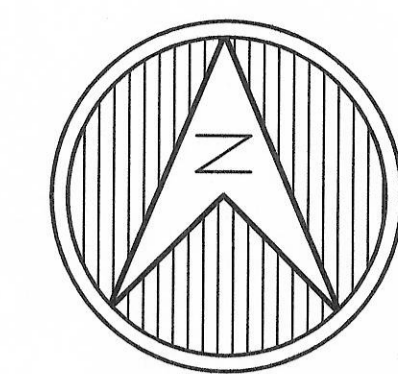
- 1. BEFORE ANY CLEARING, GRUBBING, OR DEMOLITION OF THE SITE IS INITIATED... 2. SILT FENCE SHALL BE PLACED DOWN GRADIENT OF ALL DISTURBED AREAS... 3. ALL STOCKPILED SOIL SHALL BE ENCLOSED WITH SILT FENCE... 4. NO MORE THAN 500 FEET OF TRENCH SHALL BE OPEN AT ONE TIME... 5. BEFORE AND AFTER EVERY STORM ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSPECTED... 6. STONE CHECK DAMS SHALL BE PLACED IN NEWLY CONSTRUCTED SWALES... 7. EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM NUMBER REQUIRED... 8. NEW SWALES AND DITCHES (AND ANY OTHER AREA SUBJECT TO CONCENTRATED STORM RUNOFF) SHALL BE FERTILIZED AND SEEDED... SEEDING TABLE: SEED LBS/ACRE, CREeping RED FESCUE 20, REDTOP 2, SMOOTH BROMEGRASS 20. AND SHALL HAVE MULCH APPLIED AT THE RATE OF 2 TONS PER ACRE. 9. IN ALL NEW SWALES AND DITCHES, AND WHERE SLOPE GRADE EXCEEDS 25 PERCENT... 10. ALL DISTURBED TERRAIN AT FINAL GRADE SHALL BE SEED AND MULCHED... EMBANKMENT/SLOPING GROUND SEEDING TABLE: MIXTURE #1 CREEPING RED FESCUE 20, REDTOP 2, BIRDSFOOT TREFLOID OR CROWN VETCH 15; MIXTURE #2 TALL FESCUE 10, REDTOP 2, FLAT PEA (LATHCO) 30; MIXTURE #3 CREEPING RED FESCUE 15, FLAT PEA (LATHCO) 30; FLAT/LEVEL GROUND MIXTURE #1 KENTUCKY BLUE GRASS 20, CREEPING RED FESCUE 20, RYE (PERENNIAL) OR REDTOP 5; MIXTURE #2 CREEPING RED FESCUE 20, REDTOP 2, TALL FESCUE 20. 11. ALL NEWLY SEEDDED AREAS SHALL BE MULCHED AT A RATE OF TWO (2) TONS PER ACRE... 12. ALL AREAS THAT REACH FINISHED GRADE DURING THE WINTER CONSTRUCTION SEASON SHALL BE MULCHED AT A RATE OF 4 TONS/ACRE... 13. ALL HAY MULCH SHALL BE TACKED DOWN TO PREVENT WINDTHROW... 14. ALL DISTURBED AREAS NOT AT FINAL GRADE THAT WILL NOT BE DISTURBED AGAIN FOR A PERIOD OF GREATER THAN THIRTY (30) DAYS... 15. ALL DISTURBED AREAS MUST HAVE TEMPORARY OR FINAL STABILIZATION WITHIN 14 DAYS... 16. DURING WINTER CONSTRUCTION ALL DISTURBED AREAS MUST HAVE TEMPORARY OR FINAL STABILIZATION... 17. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS... 18. EROSION CONTROLS SHALL BE INSPECTED WEEKLY... 19. NO MORE THAN 3 ACRES SHALL BE DISTURBED... 20. SEEDING MUST BE COMPLETED BY SEPTEMBER 15... 21. CONTRACTOR SHALL APPLY DUST CONTROL MEASURES... 22. AT THE COMPLETION OF THE PROJECT, ALL STORMWATER DRAINAGE FACILITIES INCLUDING DITCHES, GRASSED SWALES, CATCH BASINS, SLUMPS, CULVERTS, STORM DRAINS, STORM MANHOLES, OUTLET STRUCTURES, STORM FILTERS, ETC SHALL BE CLEANED AND FREE OF SILT, SEDIMENT OR DEBRIS...

LEAKAGE TESTING OF SEWER PIPING AND MANHOLES

- 1. USE LEAKAGE TESTING PROCEDURE PRESCRIBED BY AUTHORITY HAVING JURISDICTION... 2. CONTRACTOR SHALL NOTIFY ENGINEER AND MUNICIPALITY 48 HOURS PRIOR TO TESTING... 3. AFTER TESTING AND PRIOR TO ACCEPTANCE THE CONTRACTOR SHALL SUPPLY THE ENGINEER WITH AS-BUILT DRAWINGS. MANHOLE TESTING: A. ALL MANHOLES SHALL BE TESTED FOR LEAKAGE... B. ALL INFLOW AND OUTFLOW PIPES SHALL BE PLUGGED... C. FILL THE MANHOLE WITH WATER TO THE TOP OF THE CONE SECTION... D. THE LEAKAGE FOR EACH MANHOLE SHALL NOT EXCEED ONE GALLON PER VERTICAL FOOT... PIPING TESTING: A. ALL NEWLY LAID SANITARY SEWERS SHALL BE TESTED FOR LEAKAGE... B. THE MAXIMUM LEAKAGE SHALL BE 200 GALLONS PER INCH OF PIPE DIAMETER... C. AIR TESTING SHALL BE PERFORMED IN ACCORDANCE WITH ASTM STANDARD C828-80... LANDSCAPING NOTES: 1. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH SUBCONTRACTORS... 2. LANDSCAPING CONTRACTOR SHALL RECEIVE SITE GRADE TO +/- 0.10 FOOT... 3. ALL TREES OF THE SAME SPECIES AND SIZE SHALL HAVE MATCHING HEIGHT AND FORM... 4. ALL PLANT MATERIALS AND FINAL LOCATION OF ALL PLANT MATERIALS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE... 5. IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS... 6. CONTRACTOR SHALL FURNISH PLANT MATERIALS FREE OF PESTS OR PLANT DISEASES... 7. ALL GROUND COVERS SHALL BE TRIANGULARLY SPACED... 8. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING MATERIALS... 9. ALL LANDSCAPE AREAS SHALL BE COVERED WITH 2-INCHES OF ORGANIC BARK MULCH... 10. AREAS SHOWN AS GROUND COVER AT THE BASE OF TREE AND SHRUB MATERIALS MUST CONFORM... 11. FINAL PLACEMENT OF ALL PLANT MATERIALS SHALL BE SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE... 12. ALL DISTURBED AREAS, UNLESS OTHERWISE NOTED, TO BE LOAM, SEED, AND MULCHED.

Revision table with columns for NO., DATE, and REVISION. Includes project information: OFFICE ADDITION, 422 NORTH SHORE ROAD, DANVILLE, VERMONT, CHRIS BISSELL. SHEET DESCRIPTION: LEGEND AND GENERAL NOTES. PROJECT NO.: 16027, DATE: 9 MAR 2016. SCALE: NTS, DRAWN: RBC, CHECKED: DLF, SHEET: SHEET 1 OF 2.



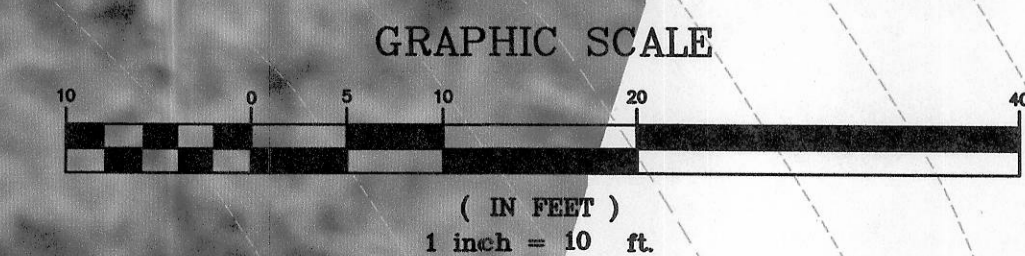


NO.	DATE	REVISION

Civil & Structural Engineers  
**Dewolfe**  
 ENGINEERING ASSOCIATES  
 INCORPORATED  
 81 River St., P.O. Box 1576, Montpelier, VT 05601-1576  
 L 802-225-4727 F 802-225-4740 www.dewolfe.com

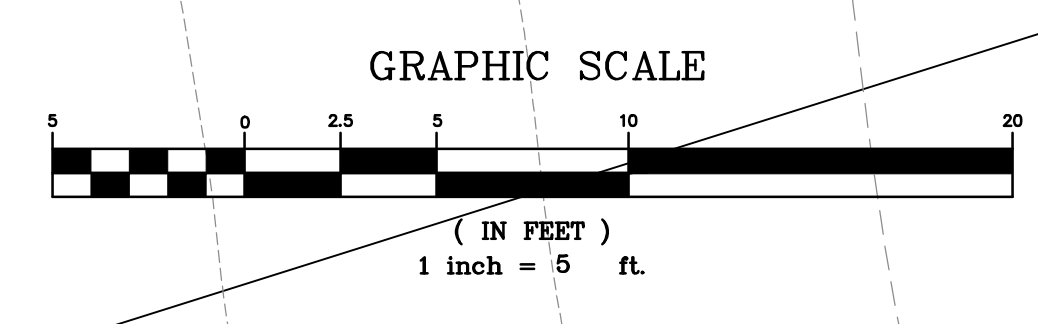
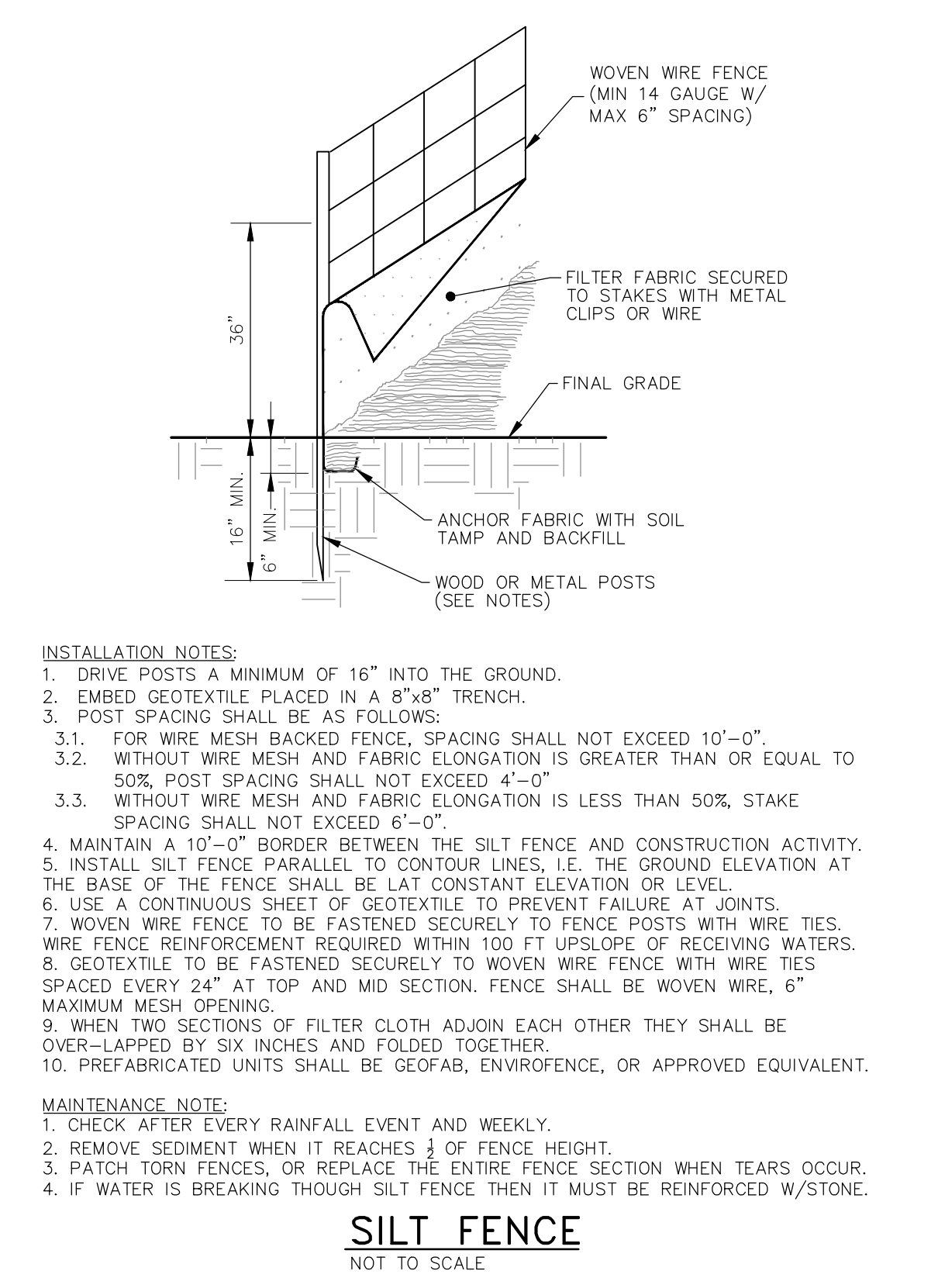
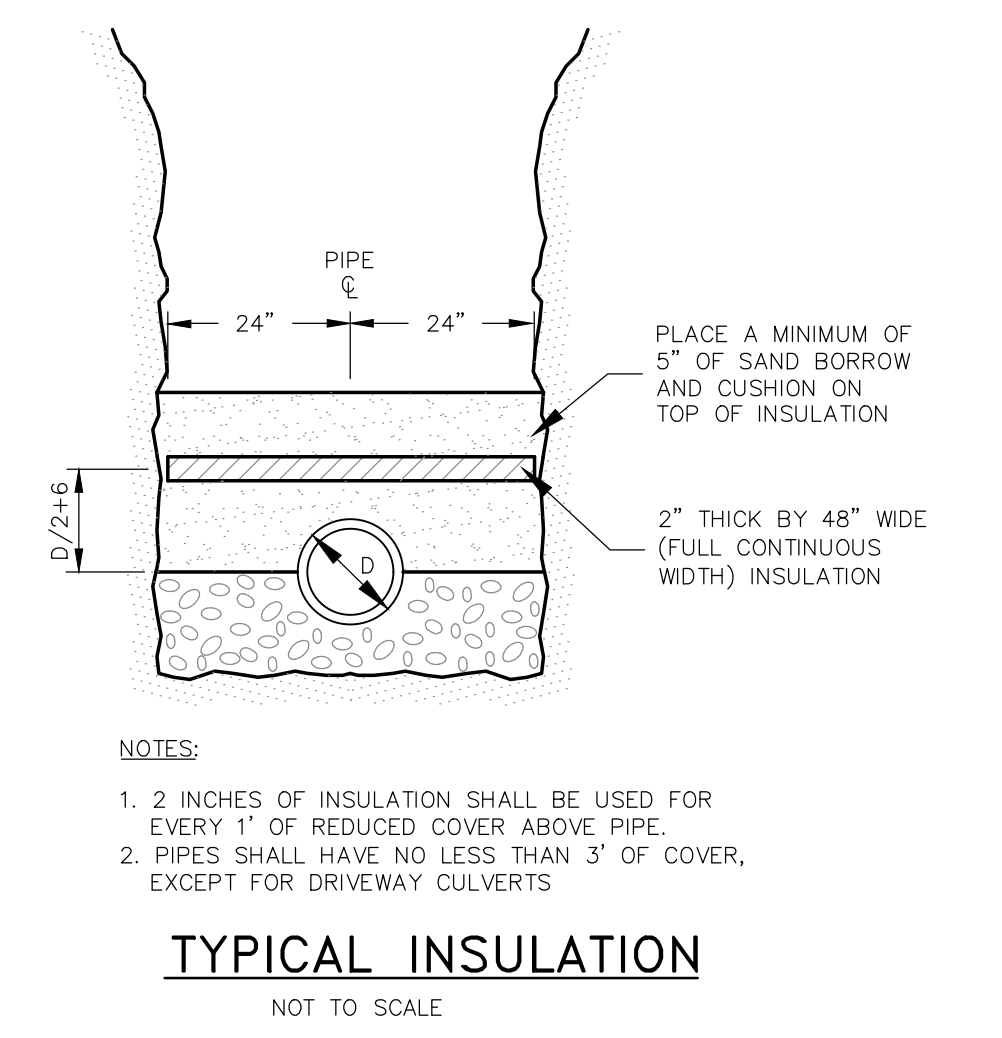
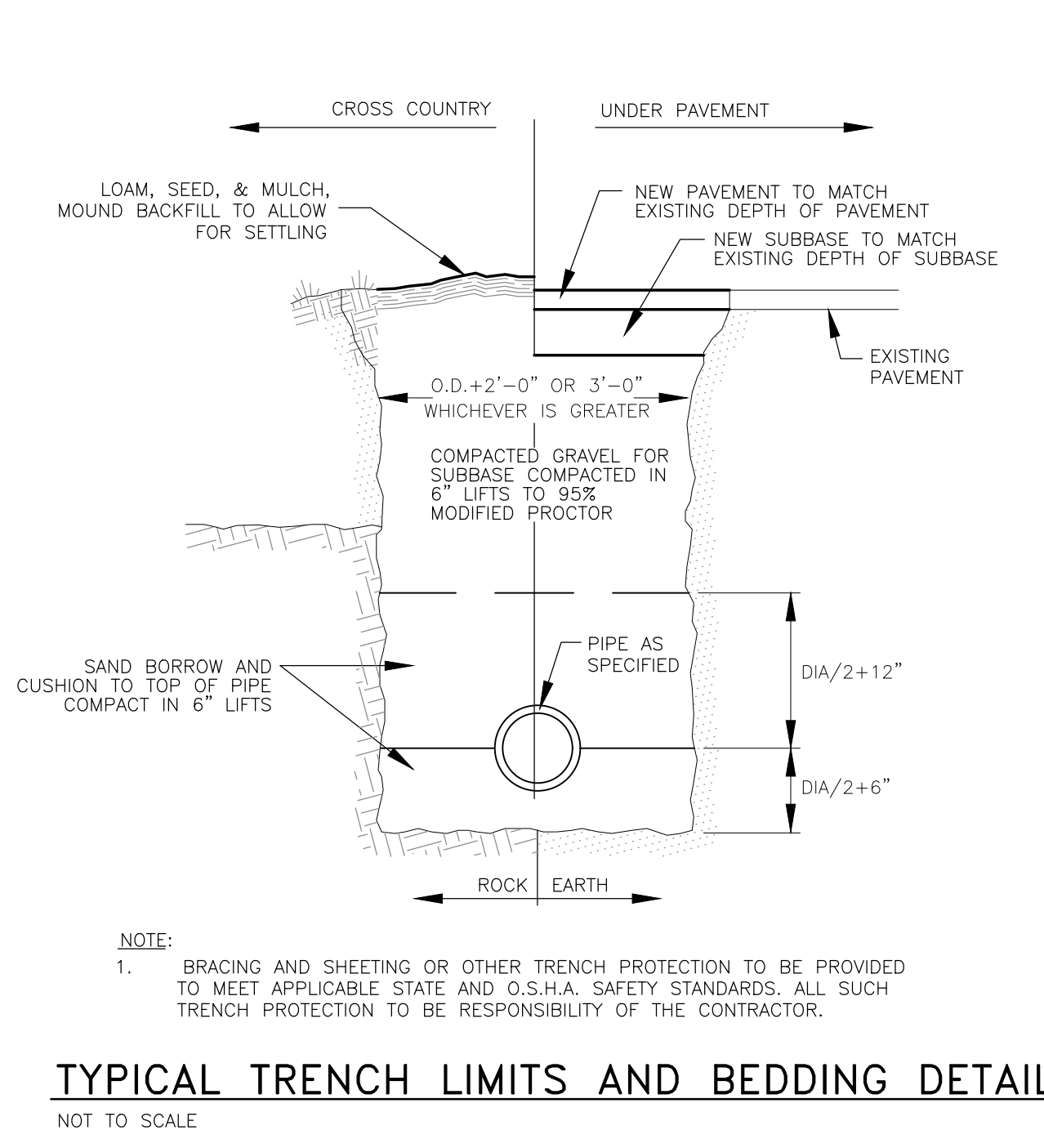
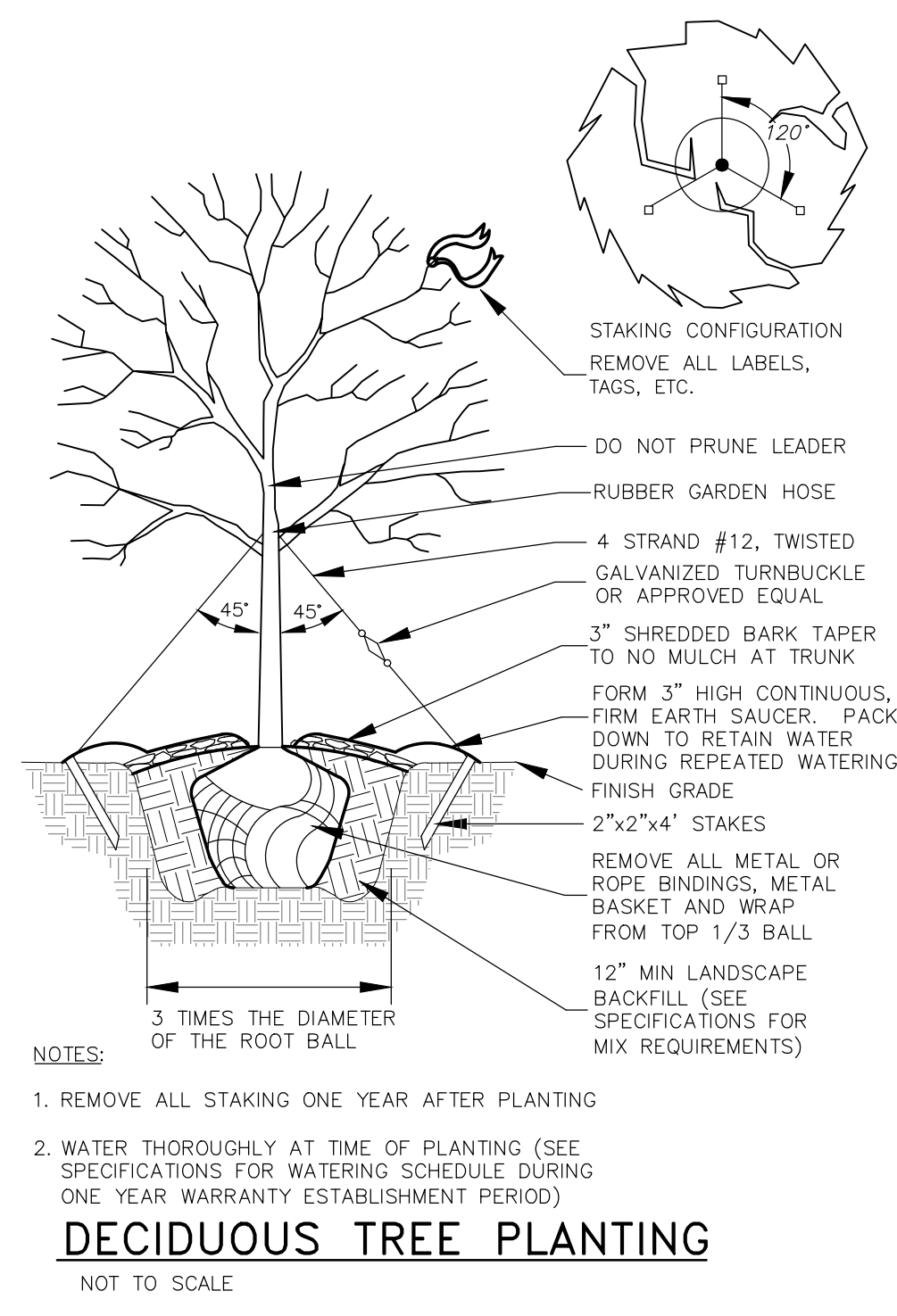
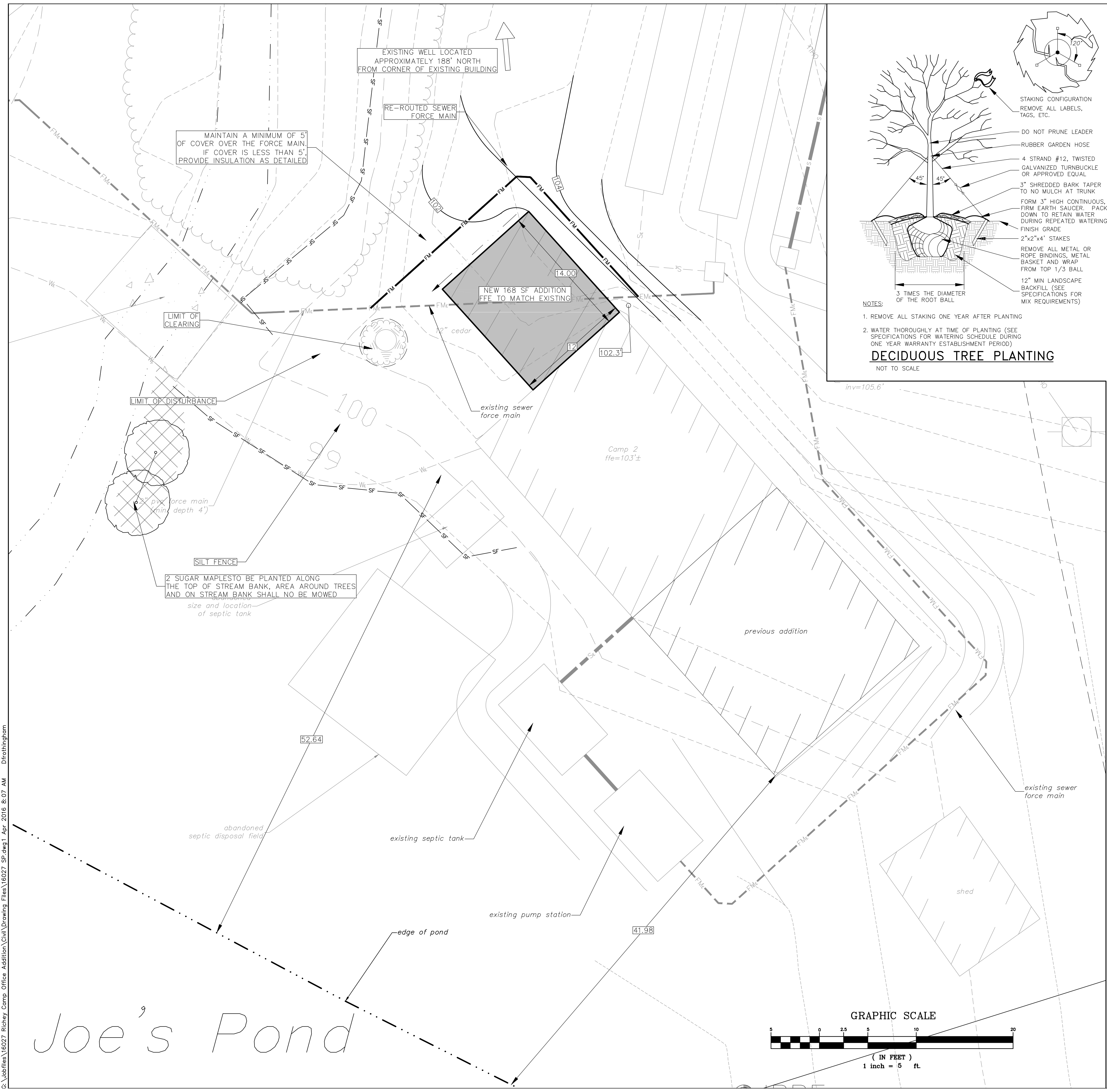
**OFFICE ADDITION**  
 422 NORTH SHORE ROAD  
 DANVILLE, VERMONT  
 CHRIS BISSELL

SHEET DESCRIPTION	
OVERALL SITE PLAN	
PROJECT NO.	DATE
16027	9 MAR 2016
SCALE	PR.01
1" = 10'	
DRAWN	SHEET
RBC	
CHECKED	SHEET 1 OF 1
DLF	



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		REVISION	
		NO.	DATE
1	03/31/16	ADDED TREE PLANTINGS ALONG STREAM BANK	
<b>OFFICE ADDITION</b> 422 NORTH SHORE ROAD DANVILLE, VERMONT CHRIS BISSELL			
SHEET DESCRIPTION			
PROJECT NO.		DATE	
16027		9 MAR 2016	
SCALE		1"=5'	
DRAWN		C1.01	
RBC			
CHECKED		SHEET	
DLF		SHEET 2 OF 2	

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**From:** David Frothingham <David.Frothingham@dirtsteel.com>  
**Sent:** Thursday, March 31, 2016 11:52 AM  
**To:** Mitchell, Mark  
**Subject:** RE: Shoreland Permit Application #268, Richey  
**Attachments:** Shore land permit revised pages 2 & 3.pdf; C1.01 SITE PLAN r3-31-16.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Good morning Mark,

Please find attached the revised site plan and application pages. The applicate proposes to plant two maple trees along the top of bank of the adjacent stream. These trees will provide shade for the stream and the canopies, when grown, will exceed the 40sf required.

If you have any further comments please do not hesitate to contact me.

David Frothingham PE  
Senior Civil Engineer

DeWolfe Engineering Assoc.  
317 River Street  
PO Box 1576  
Montpelier, Vt 05601

General Ph: 802-223-4727 x319

**Direct Ph: 802-613-3001**

Fax: 802-223-4740

**FOR FASTEST RESPONSE PLEASE USE MY NEW DIRECT LINE.**

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**From:** Mitchell, Mark [<mailto:Mark.Mitchell@vermont.gov>]  
**Sent:** Wednesday, March 30, 2016 12:04 PM  
**To:** David Frothingham  
**Subject:** FW: Shoreland Permit Application #268, Richey

Hi David,

In reviewing your Shoreland Permit Application for 1479 Westshore Road on Joes Pond, a few clarifications are needed for it to be considered technically complete:

- 1) Section D.1 states that the new impervious area created will total 280 SF, but Section 5a states it will be 168 SF.
- 2) Section D.1 also states that the total cleared area on the property would be increased by 350 SF, but Section 6a states it will be 40 SF.
- 3) Section 6c must address the new cleared area through revegetation of an equal surface area within the same distance from mean water level.

Please let me know if you have any questions.



Thanks,  
Mark



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