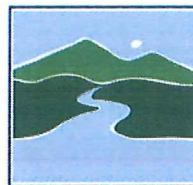


**Shoreland Permit Application**for a **Shoreland Protection Permit** under Chapter 49A of Title 10, § 1441 *et seq.***For Shoreland Permitting Use Only**Application Number: **274**VERMONT DEPARTMENT OF  
ENVIRONMENTAL CONSERVATION  
**WATERSHED  
MANAGEMENT DIVISION**  
LAKES & PONDS PROGRAM**Public Notice:** At the same time this application is filed with Shoreland Permitting, a copy of this application must be provided to the municipal clerk for posting in the municipality in which the project is located.Submission of this application constitutes notice that the person in Section A intends to create impervious surface and/or cleared area within the Protected Shoreland Area, and certifies that the project will comply with Chapter 49A of Title 10, § 1441 *et seq.* All information required on this form must be provided, and the requisite fees (Section G) must be submitted made payable to the State of Vermont, to be deemed complete. Refer to *The Vermont Shoreland Protection Act - A Handbook for Shoreland Development* and related instructions for guidance in completing this application.**A. Parcel Information**1. Landowner's Name: **SUSAN SPADARO**2a. Physical Address (911 Address): **200 MAQUAM SHORE ROAD**

2b. Town - County: Swanton - Franklin

2c. Zip: **05488**3. SPAN (The School Parcel Account Number is required for your application to be deemed complete. It can be obtained from your property tax bill. If you cannot locate your property tax bill, please obtain this information from your Town Clerk) : **639-201-11776**4. Phone: **914-265-0586**5. Email: **CFM247@GMAIL.COM**6. Name of lake/pond: Champlain Lake (Northeast Arm) - Swanton  7. Total shore frontage: **174.00** (feet)8. Was the parcel of land created before July 1, 2014?  Yes  No **mbs 6/3/16**9. Are there wetlands associated with this parcel?  Yes  NoContact the Wetlands Program: (802) 828-1535 or [watershedmanagement.vt.gov/wetlands.htm](http://watershedmanagement.vt.gov/wetlands.htm).

10. Have you ever applied for a permit with the Department of Environmental Conservation associated with this parcel?

 Yes No11. What is the surface area of your parcel within the Protected Shoreland Area (PSA): **43,500** (square feet)

See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix C, Determining Lakeside Zone &amp; PSA

12. What is the surface area of existing impervious surface on your parcel within the PSA: **2,200** (square feet)

See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix F, Calculating Percent Impervious Surface

13. What is the surface area of existing cleared area on your parcel within the PSA: **3,000** (square feet)

See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix E, Calculating Percent Clearing

**B. Applicant Contact Information**1. Name: **SUSAN SPADARO**2a. Mailing Address: **44 DALE ROAD**2b. Municipality: **EAST CHESTER**2c. State: **NY**2d. Zip: **10709**3. Phone: **914-265-0586**4. Email: **CFM247@GMAIL.COM****C. Application Preparer Information** (If the individual preparing the application is not the landowner.)1. Name: **DREW PIERCE - MOUNTAIN VIEW MODULAR HOMES, INC**2a. Mailing Address: **POST OFFICE BOX 1483**2b. Municipality: **QUECHEE**2c. State: **VT**2d. Zip: **05059**3. Phone: **802-455-8439**4. Email: **DREW@MOUNTAINVIEWMODULARS.COM**

**D. Project Description**

1. Describe the proposed project. For this application to be considered administratively complete you must attach site plans that denote existing and proposed cleared areas and impervious surface and their distances from mean water level, no fewer than three photos of the project area, and dimensions and associated surface areas of cleared areas and impervious surfaces.

**REPLACE EXISTING GARAGE AND CONCRETE BLOCK 3 BEDROOM STRUCTURE ON FULL FOUNDATION WITH NEW 3 BEDROOM SINGLE FAMILY MODULAR HOME AND 2 CAR GARAGE. TIE INTO EXSTING UTILITIES. NO TREE REMOVAL.** mbs 6/3/16

This project involves replacing an existing house (28' x 40' = 1120 square feet - per lister's records) and an existing garage (24' x 26' = 624 square feet - per lister's records), which is 1744 square feet combined, with a new 3 bedroom house, roughly 41' x 50' = 2050 square feet - per project site plans). The new house will be 80 feet from mean water level, and the additional 306 square feet for the new impervious surface for the dwelling will be built over 312 square foot grassed area between the existing buildings and over part of the existing paved driveway/parking area. Since the entire structure will be 6' farther from MWL, up to a 28' x 60' (1680 square feet - per preparer notes) portion of the asphalt parking and driveway area will be removed and revegetated with grass and managed as cleared area.

2. For developed parcels, how far is the existing habitable structure from Mean Water Level 74 feet (feet), and How far will new cleared area or impervious surface be from MWL 80 (feet)? Per application responsiveness summary from preparer. mbs 6/3/16

**OR**  
For undeveloped parcels, how far will new cleared area or impervious surface be from MWL \_\_\_\_\_ (feet)?  
See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix A – Estimating Mean Water Level

3. Can all new cleared area or impervious surface be set back at least 100 feet from MWL?  Yes  No  
If no, explain why below (attach support information as needed):  
Building is being placed in same location as existing building, and within neighborhood standards. Pictures attached.

The slope of the project site is 5%, although there is a cliff at the edge of the property. mbs 6/3/16

4a. What is the slope of the project site area: 5.00 %  
See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix B, Determining Slope

4b. Is the slope of the project area less than 20%?  
 Yes  No If yes, skip 4c.

4c. If no above (4b), describe the measures taken to ensure the slope is stable, resulting in minimal erosion and impacts to water quality (attach support information as needed):

New impervious surface is 312 square feet - 12' x 26' grassed area between prior existing dwelling and prior existing garage. These projects were demolished and foundation construction underway prior to receipt of a Shoreland Permit Application. Therefore, Town of Swanton lister photos and google earth were used to confirm the new impervious surface. mbs 6/3/16

5a. What is the surface area of new impervious surface associated with this project: 312 SF (square feet)  
See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix F Calculating Percent Impervious Surface

5b. What is the total resulting impervious surface after completion of the project and prior to implementation of best management practices: 2,290.00 (square feet)  
For D5b, add A12 to D5a 2,512 square feet -mbs 6/3/16

5c. Is the total in 5b. 20% or less of the parcel area within the PSA?  Yes If yes, skip 5d.  No  
If 5a is 0, check the n/a box, otherwise divide 5b by A11 and multiply by 100 for percentage. Total percentage = 5.8 %  N/A mbs 6/3/16

5d. If no above (5c), describe the best management practices used to manage, treat and control erosion from stormwater from the portion of impervious that exceeds 20% (attach support information as needed):



6a. What is the surface area of new cleared area associated with this project: 0.00 (square feet)

See The Vermont Shoreland Protection Act – A Handbook for Shoreland Development, Appendix E, Calculating Percent Clearing

6b. What is the total resulting cleared area after completion of the project and prior to implementation of best management practices: ~~5,000.00~~ (square feet)

For 6b, add A13 to D6a. 3,000 SF -mbs 6/3/16

6c. Is the total in 6b. 40% or less of the parcel area within the PSA?  Yes If yes, skip 6d.  No

If 6a is 0, check the n/a box, otherwise divide 6b by A11 and multiply by 100 for percentage. Total percentage = 6.9 %

N/A mbs 6/3/16

6d. If no above (6c), describe the best management practices used to provide erosion control, bank stability, and wildlife habitat functionally equivalent to clearing less than 40% (attach support information as needed).

### E. Landowner Certification

As APPLICANT, I hereby certify that the statements presented on this application are true and accurate and recognize that by signing this application, I agree to complete all aspects of the project as authorized. I understand that failure to comply with the foregoing may result in violation of the Shoreland Protection Act, 10 V.S.A. Chapter 49A, and the Vermont Agency of Natural Resources may bring an enforcement action for violations of the Act pursuant to 10 V.S.A. chapter 201.

Applicant/Landowner Signature: \_\_\_\_\_ Date: \_\_\_\_\_

### F. Application Preparer Certification (if applicable)

As APPLICATION PREPARER, I hereby certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

Application Preparer Signature:  Date: 3/22/16

### G. Additional Required Documentation (Please check to ensure you have completed the following)

- All sections of the application are complete (or otherwise indicate "not applicable")
- Application includes site plans denoting existing and proposed cleared area and impervious surface and distances from mean water level
- Application description includes dimensions and surface areas of cleared areas and impervious surfaces
- Application includes photos of project area

### H. Permit Application Fees

Administrative Fee: \$125.00		\$ 125.00
Impervious Area Fee: \$0.50 per square foot	Enter new impervious area as entered in item (5a) <u>312 square feet</u> x .5	\$ <del>XXX</del> \$156 mbs 6/3/16
<b>Total:</b>		\$ <del>XXX</del> <u>125</u> \$281

**Print Form**

**Submit this form and application fee, payable to:**

State of Vermont  
Vermont Department of Environmental Conservation  
Watershed Management Division  
Shoreland Permitting  
1 National Life Drive, Main 2  
Montpelier, VT 05620-3522

Direct all correspondence or questions to Shoreland Permitting  
at: [ANR.WSMDShoreland@vermont.gov](mailto:ANR.WSMDShoreland@vermont.gov)

For additional information visit:  
[www.watershedmanagement.vt.gov](http://www.watershedmanagement.vt.gov)



↑  
TELECTRIC  
SERVICO  
C













MQ0196  
1.1 Ac

MQ0195  
1.07 Ac

MQ0198  
0.68 Ac

Proposed BUDA AREA

BUILDING LOCATION IS  
FURTHER FROM SHORE  
THAN EXISTING  
BUILDING.

54'  
MQ0200  
2.23 Ac

ASPHALT D/W (EXISTING)

174'

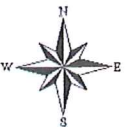
MAQUAN Shore RD.

MQ0202  
0.69 Ac

MQ0204

SPADARO PERMIT  
Swanton, VT

1 Inch = 66 Feet  
March 23, 2016



**excel**  
HOMES  
WWW.EXCELHOMES.COM

THIS HOME HAS BEEN DESIGNED SPECIFICALLY FOR:

**MAUER**

200 MAQUAM SHORE ROAD  
ST. ALBANS, VT 05478  
FRANKLIN COUNTY

BUILDER:  
**MOUNTAIN  
VIEW  
MODULAR**

PTL#: 33482 STATE: VT  
 PD  QN  SN  SD

BUILDER: MOUNTAIN VIEW

CUSTOMER/PROJECT: MAUER

**excel**  
HOMES  
WWW.EXCELHOMES.COM

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NAME DATE

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ADJUSTMENTS MADE FOR CODE COMPLIANCE AND PRODUCTION CAPABILITY

DRAWING MAY BE REVERSED

CHECKED: WNC  
DRAWN: YYD MJC JPF JPF MJC MJC

DESCRIPTION

DATE: 07-07-15  
NO: PD1 QN1 FN1 FN2 FN3 FN4  
7-30-15 10-9-15 11-16-15 1-28-16 2-10-16

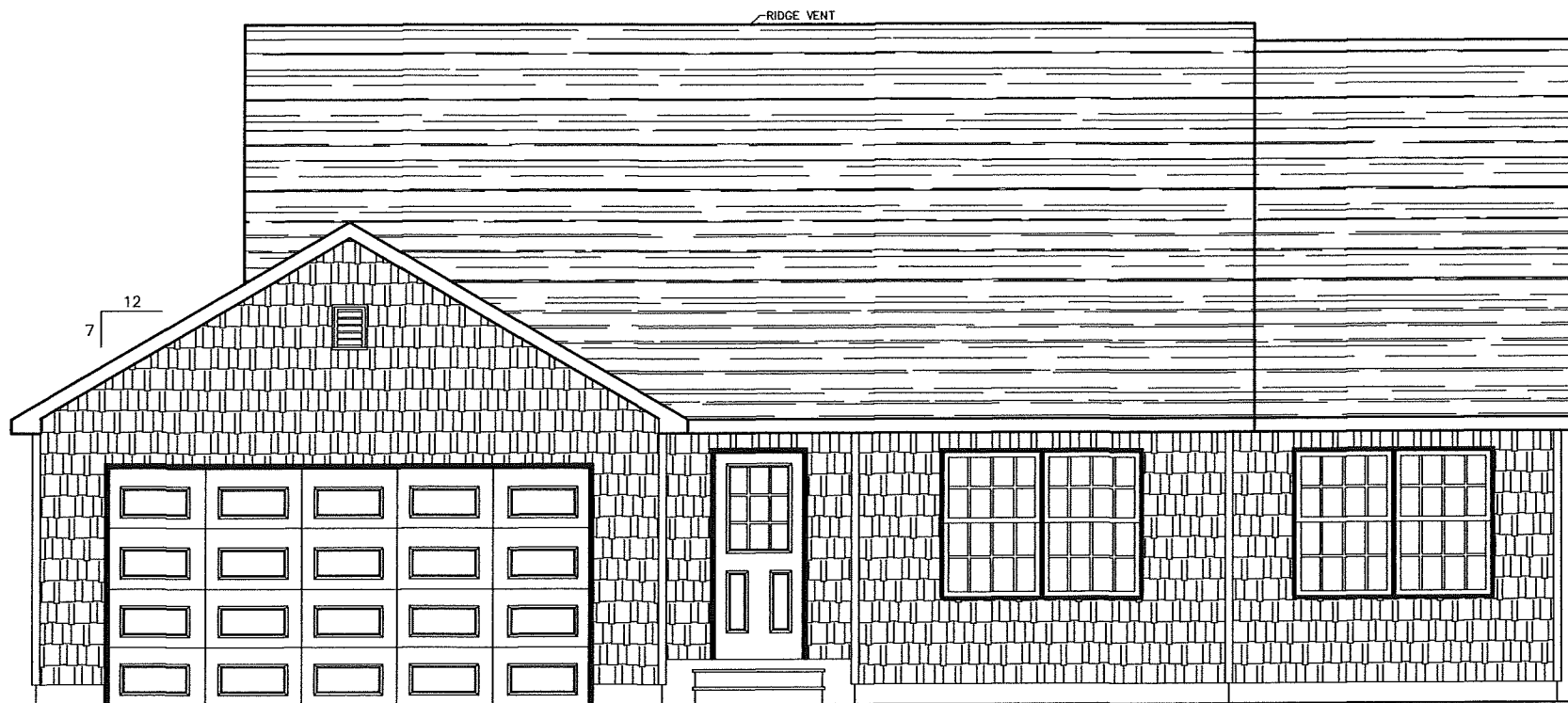
DRAWING TITLE: COVER SHEET

SCALE: NTS SHEET: 1

+/- 21'-9" TOP OF SILL TO PEAK

8'-0" 1ST FLOOR CEILING HEIGHT

1ST FLOOR FLOOR  
TOP OF SILL  
GRADE



FRONT ELEVATION

SITE CONDITIONS:	
GROUND SNOW LOAD:	40 PSF
WIND SPEED:	90 MPH 116 ULT.
EXPOSURE:	C
SEISMIC CATEGORY:	C
USE GROUP:	SINGLE FAMILY DWELLING OWNER OCCUPIED
CONSTRUCTION TYPE:	VB WOOD FRAME UNPROTECTED

SQUARE FOOTAGE:	
FIRST FLOOR:	1,617 SQ. FT.
SECOND FLOOR:	- SQ. FT.
BONUS ROOM:	- SQ. FT.
GARAGE:	432 SQ. FT.
TOTAL:	2,049 SQ. FT.
OVERALL SIZE	56'-11" x 50'-2"
MODEL:	RANCH

NOTES:

- ITEMS SHOWN ON THE EXTERIOR ELEVATION DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY
- GRILLS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY (SEE WINDOW MANUFACTURER CATALOG FOR ACTUAL GRILL PATTERN)
- WINDOW INSTALLED WITHIN 24" OF THE FINISHED FLOOR, THE BUILDER WILL INSTALL WINDOW GUARDS IN ACCORDANCE WITH IRC (2006 IRC, R613.2) (2009 IRC, 612.2) (2012 IRC, R312.2)



PTL#: 33482 STATE: VT  
 PD  QN  SN  SD

BUILDER: MOUNTAIN VIEW

CUSTOMER/PROJECT: MAUER



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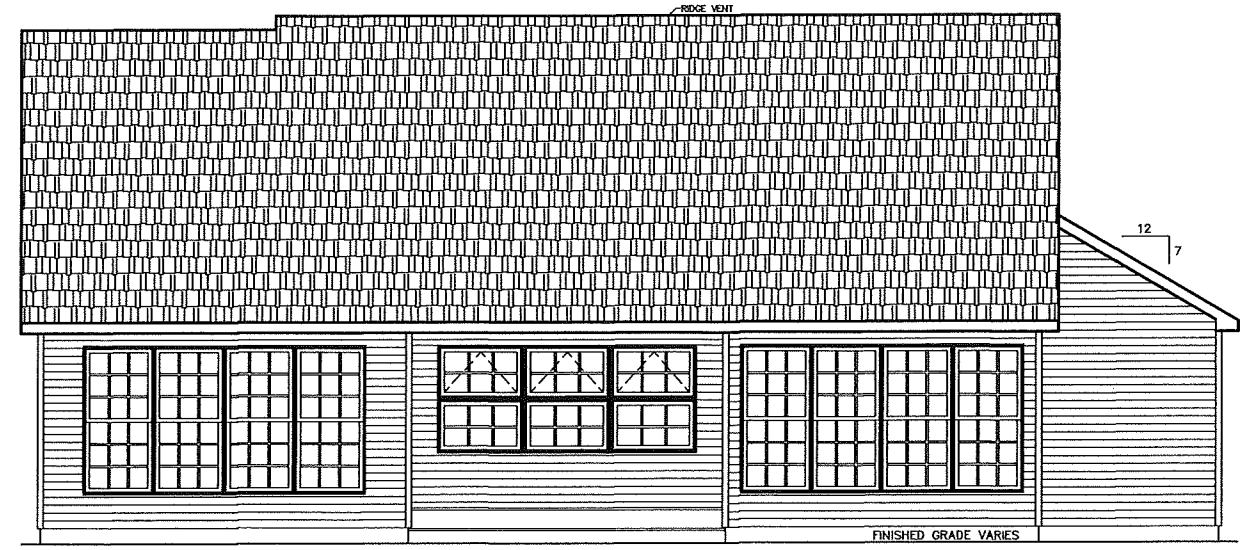
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DRAWN: CHECKED: WNC  
 YYD MJC JPF JPF MJC MJC

DESCRIPTION: . . .  
 DATE: 07-07-15  
 NO: PD1 QN1 FN1 FN2 FN3 FN4  
 7-30-15 10-8-15 11-16-15 1-28-16 2-10-16

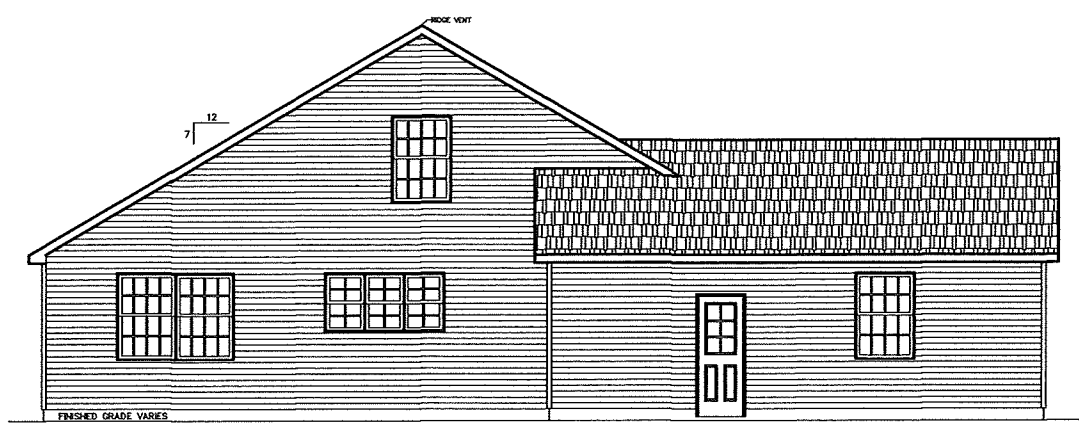
DRAWING TITLE: ELEVATIONS

SCALE: NTS SHEET: 2

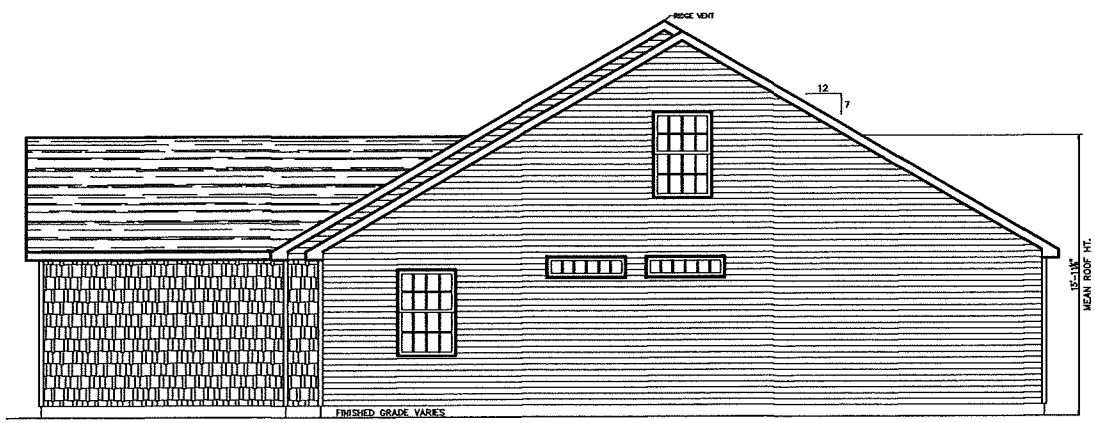


COLUMNS, STEPS, RAILING, PORCH FLR. AND HEADER TO BE SUPPLIED AND INSTALLED BY BUILDER. TEMPORARY SUPPORT POSTS AND ROOF SYSTEM BY EXCEL HOMES, INC.

REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

NOTES:  
 1. ITEMS SHOWN ON THE EXTERIOR ELEVATION DRAWINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY





**Property Card: 200 MAQUAM SHORE RD**  
Swanton, VT

NO PHOTO  
AVAILABLE

**Parcel ID:** MQ0200

**Owner:** MANGINE JAMES VINCENT

**Co-Owner:** % SUSAN SPADARO

**Mailing Address:** 44 DALE RD

EAST CHESTER, NY 10709

**Property Description:** H+L

**Book / Page:** 227 / 596

**School Code:**

**Status:** A

**SPAN:** 639-201-11776

**E911 Address:** 200 MAQUAM SHORE RD

**Sale Date:** 18-Nov-05

**Assessed Values:**

**Wood:**

**Crop:**

**Pasture:** 0

**Other:** 0

**Site:** 2

**Land:** 200000

**Building:** 72300





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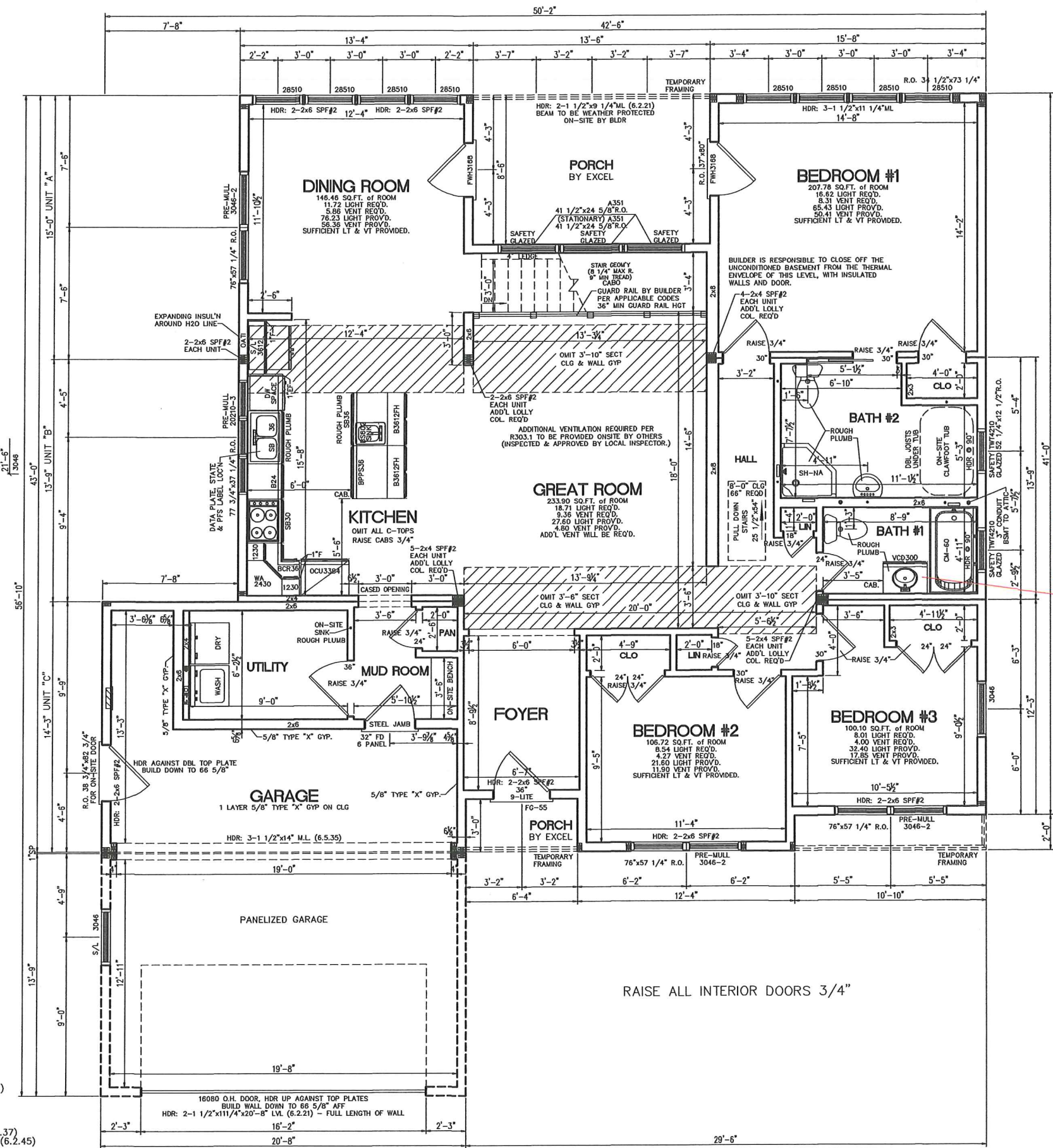
DRAWN: CHECKED:

YYD	MJC	WNC
JJC	JPF	MJC
JPF	MJC	MJC

DESCRIPTION

NO.	DATE	DESCRIPTION
PD1	07-07-15	
QN1	7-30-15	
FN1	10-9-15	
FN2	11-16-15	
FN3	1-28-16	
FN4	2-10-16	

DRAWING TITLE: FIRST FLOOR PLAN



VERMONT  
 (RESIDENTIAL/SINGLE FAMILY OWNER OCCUPIED)  
 2012 INTERNATIONAL RESIDENTIAL CODE  
 STAIRS BUILT TO 92 CABO  
 2012 LIFE SAFETY CODE, NFPA 101  
 VT RESIDENTIAL BUILDING ENERGY CODE, 2.0 EDITION  
 2011 NATIONAL ELECTRICAL CODE

- NOTES:
- 2x6 EXT WALLS @ 16" O.C./2x4 MARR WALLS @ 16" O.C. (EXCEPT AS NOTED)
  - 8'-0" CLG HT.
  - 2x10 SPF#2 FLOOR JOISTS @ 16" O.C.
  - ROOF SYSTEM TO BE 16" O.C.
  - ANDERSEN 400 SERIES WINDOWS
  - CLG BEAM OVER DR/GR TO BE: 1-1 1/2"x16"x31'-2" M.L. (PER MODULE)(6.2.37)
  - CLG BEAM OVER GR/FOYER TO BE: 2-1 1/2"x18"x22'-8" M.L. (PER MODULE)(6.2.45)
  - BASED ON 90 (116 ULT) MPH WIND LOAD & EXPOSURE "C"
  - BLDR INSTALLED HEATING SYSTEM TO COVER A 45,000 BTU LOSS
  - HEAT WAS CALCULATED W/ R-30 FLOOR INSULATION.
  - SITE LOCATION: ST. ALBANS, VT; FRANKLIN COUNTY; 40 PSF GROUND SNOW LOAD



BUILDER: MOUNTAIN VIEW

CUSTOMER/PROJECT: MAUER



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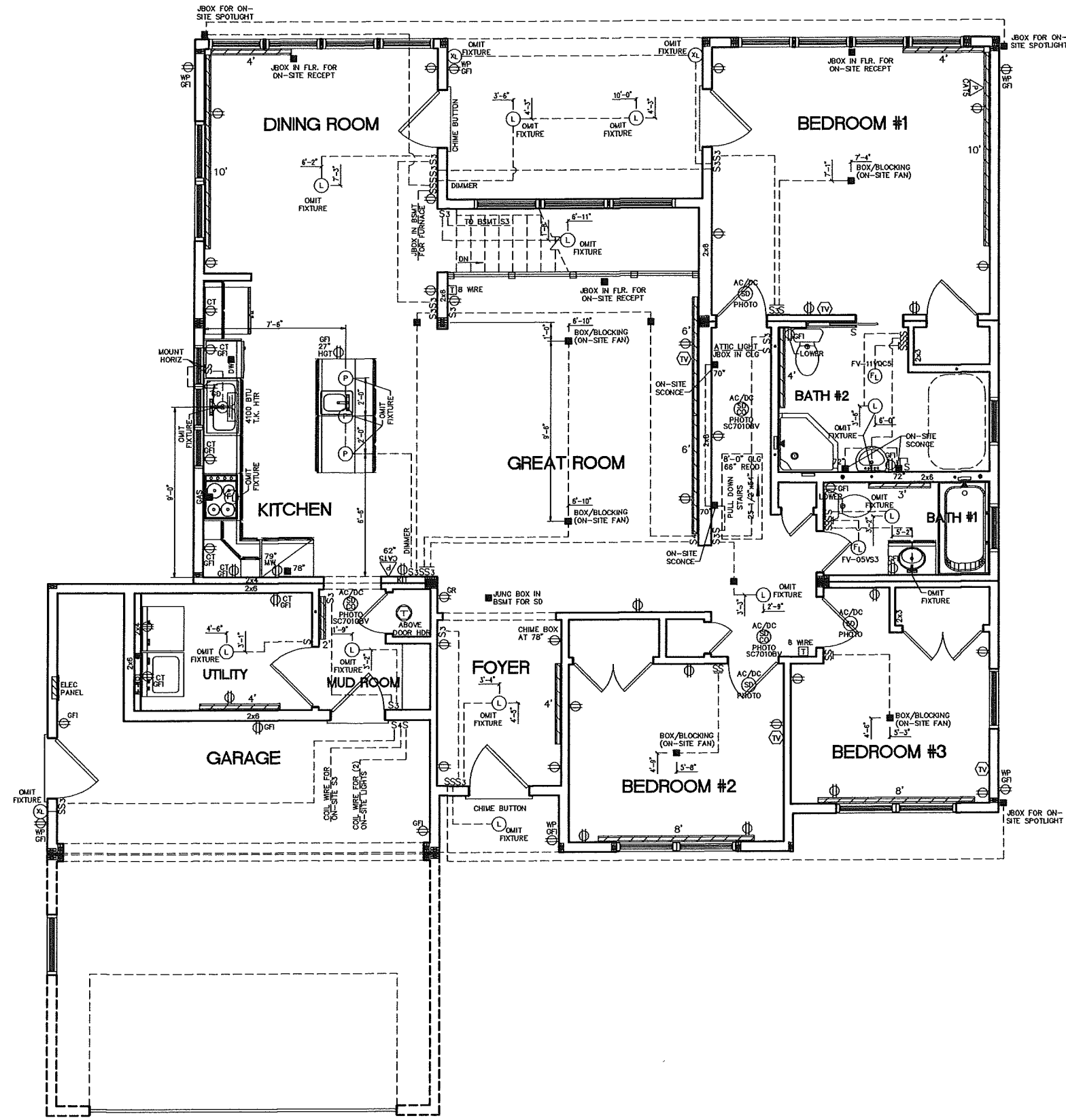
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 YYD MJC WNC  
 JPF JPF  
 MJC MJC

DESCRIPTION

NO: DATE:  
 PD1 07-07-15  
 QN1 7-30-15  
 FN1 10-9-15  
 FN2 11-16-15  
 FN3 1-28-16  
 FN4 2-10-16

DRAWING TITLE:  
**FIRST FLOOR ELECTRICAL PLAN**

SCALE: NTS SHEET: 4



2014NEC

- \* THIS PLAN MAY HAVE ADDITIONAL APPLIANCES/FIXTURES ADDED TO THE ELECTRICAL SCHEMATIC AND/OR PANEL BOX PROVIDING THE LOADING DOESN'T EXCEED THE MAXIMUM ALLOWED BY STATE & LOCAL CODES.
- \* E-CUTOFF SWITCH ON-SITE BY OTHERS PER ALL STATE & LOCAL CODES.
- \* ALL BRANCH CIRCUITS SUPPLYING 15 & 20 AMPERE OUTLETS IN LIVING SPACES ARE PROTECTED BY AN ARC-FAULT CIRCUIT INTERRUPTER IN ACCORDANCE WITH SECTION 210.12 2014 NEC.
- \* PER 406.12 OF 2014 NEC ALL 125 -VOLT, 15 AND 20 AMP RECEPITS INSTALLED IN AREAS SPECIFIED BY 210.52, SHALL BE LISTED TAMPER RESISTANT TYPE.
- \* 50# LIGHT BOXES REQUIRED
- \* HOT WATER BASEBOARD ELEMENTS

ATTENTION BUILDER: GARAGE RECEPITS ARE 30" UP FROM BOTTOM OF WALL



BUILDER:  
**MOUNTAIN VIEW**

CUSTOMER/PROJECT:  
**MAUER**



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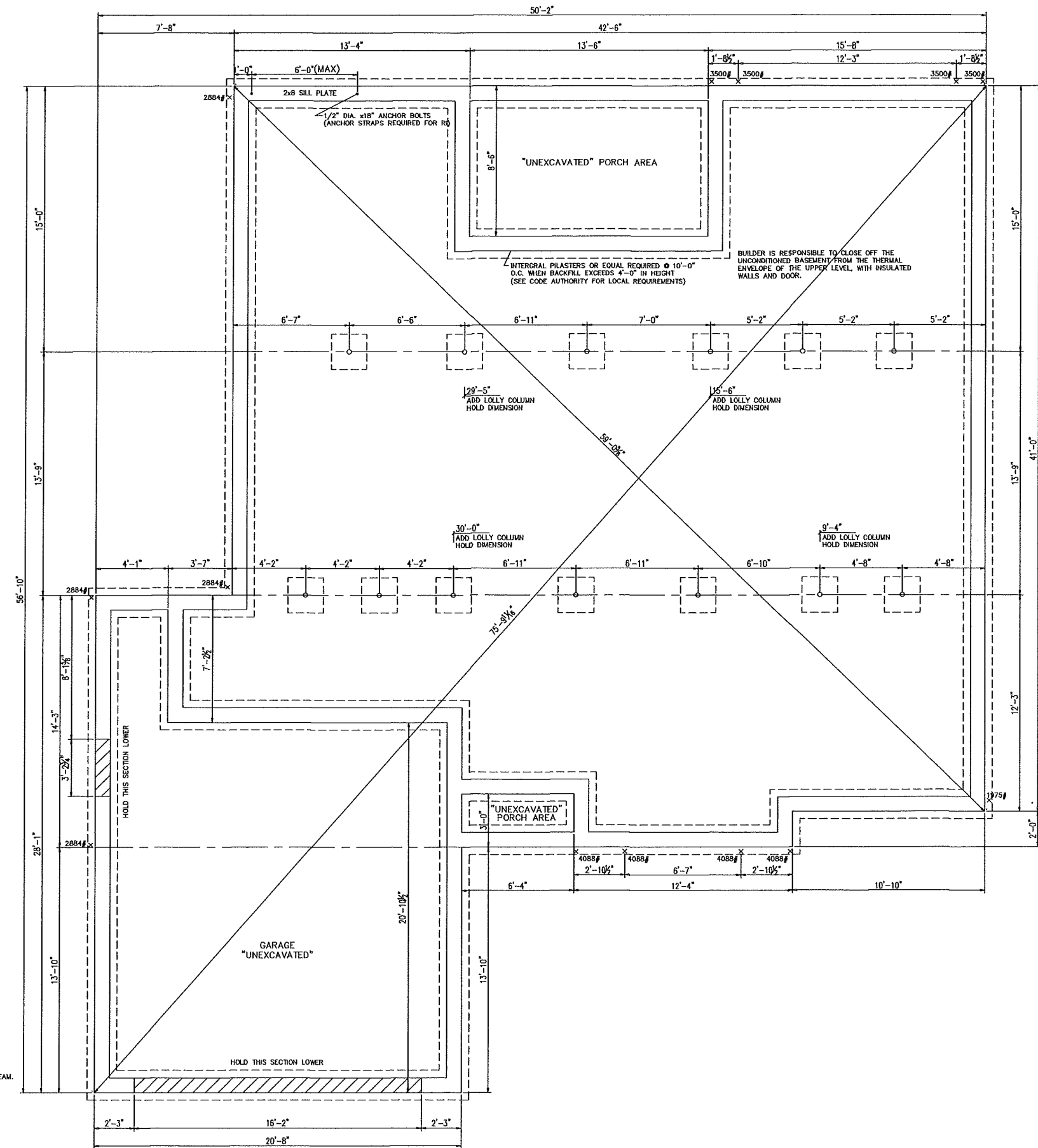
DRAWING MAY BE REVERSED

DRAWN: CHECKED:  
 YYD WNC  
 MJC  
 JPF  
 MJC  
 MJC

NO.	DATE:	DESCRIPTION
PD1	07-07-15	
QNI	7-30-15	
FN1	10-9-15	
FN2	11-16-15	
FN3	1-28-16	
FN4	2-10-16	

DRAWING TITLE:  
**FOUNDATION PLAN**

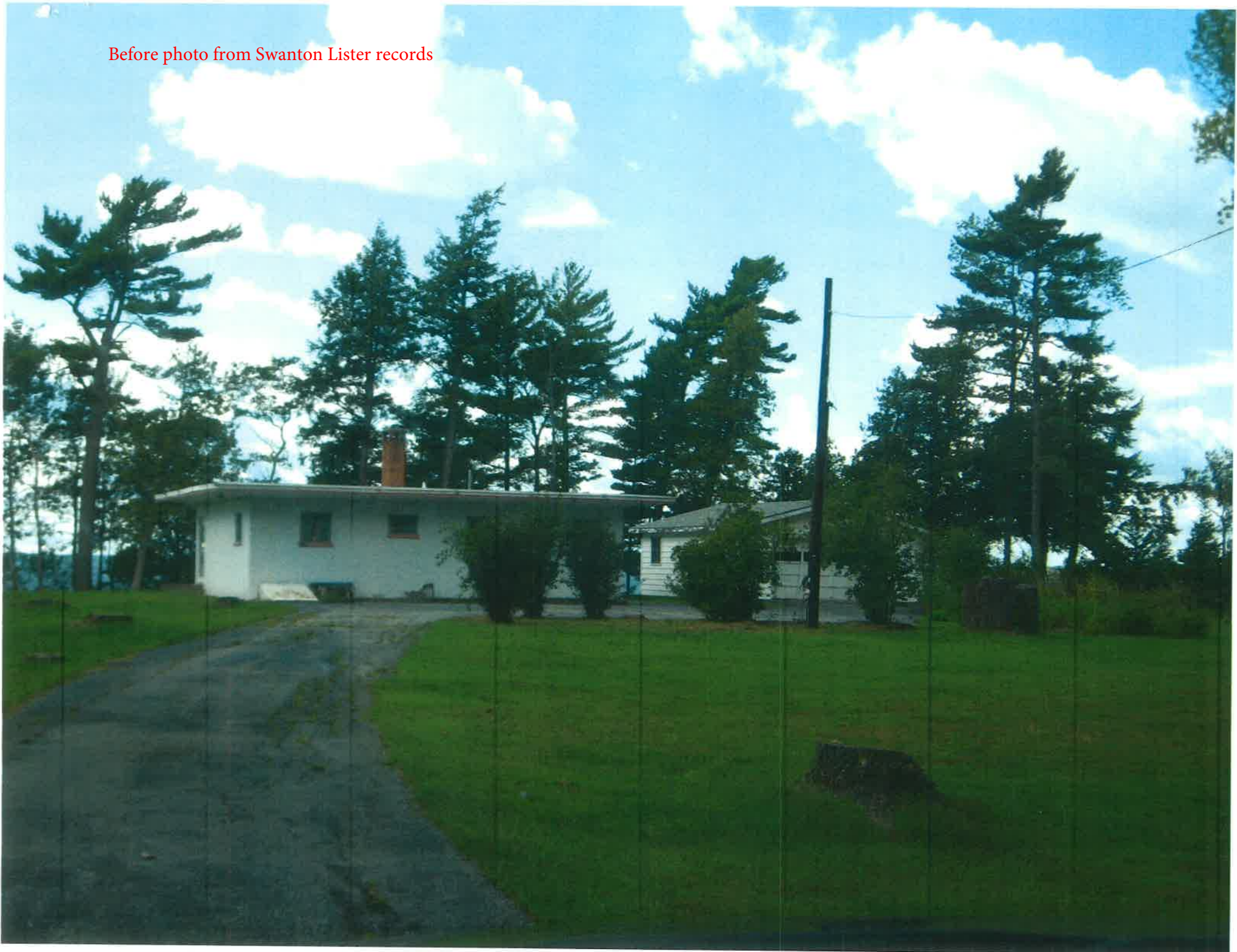
SCALE: NTS SHEET: 5



- NOTES:
- 1) THIS FOUNDATION DRAWING AND NOTES ARE FOR REVIEW ONLY. ACTUAL FOUNDATION DESIGN SHALL BE DESIGNED FOR YOUR SPECIFIC SITE AS REQUIRED PER LOCAL CODE.
  - 2) ALL CONSTRUCTION AND MATERIALS BELOW THE BOTTOM OF THE FLOOR JOISTS IS THE RESPONSIBILITY OF EXCEL HOMES' BUILDER, FOUNDATION WALL, FOOTER, LOLLY COLUMNS & PADS ARE ALL TO BE DETERMINED ON-SITE IN ACCORDANCE WITH LOCAL CODES & CONDITIONS
  - 3) REINFORCED MASONRY UNIT REQUIRED AT CENTER BEARING LOCATIONS.
  - 4) LOLLY COLUMNS ARE TO BE SPACED ACCORDING TO SPAN SCHEDULE BASED ON TYPE OF HOUSE, LOCAL SNOW LOAD & WIDTH OF UNIT. ADD'L COLUMNS MAY BE REQ'D & ARE NOTED ON FLOOR PLAN. LOLLY COLUMN SPACING IS BASED ON MIN. 1/2"x8"x12" STEEL PLATE BETWEEN COLUMN & CENTER BEAM.
  - 5) FOUNDATION IS TO BE CONSTRUCTED IN ACCORDANCE W/ALL APPLICABLE CODES.
  - 6) FOUNDATION SIZES REFLECT WOOD TO WOOD DIMENSIONS OF MODULAR UNITS, ALLOWING SHEATHING AND SIDING TO OVERHANG THE FOUNDATION. IF STYROFOAM IS USED FOUNDATION MAY BE INCREASED IN LENGTH AND WIDTH TO ACCOMMODATE.
  - 7) PERIMETER FLOOR JOISTS TO BE ATTACHED TO SILL PLATE w/16d NAILS AT 16" O.C.
  - 8) INSTALLATION OF WASHER, DRYER AND/OR WATER HEATER IN BASEMENT PER STATE AND LOCAL CODES IS THE RESPONSIBILITY OF MODULAR MANUFACTURERS, BUILDER.
  - 9) SMOKE DETECTORS IN BASEMENT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO PROVIDE AND INSTALL. (COIL WIRE IN BSMT BY MODULAR MANUFACTURER, INC)
  - 10) CRAWL SPACE FOUNDATION REQUIRES A MINIMUM 18"x24" ACCESS OPENING, INSECT & RODENT PROOF CROSS VENTS WITHIN 3' OF CORNERS AND PROVIDE 1/150 OF FLOOR AREA WITH VENTILATION.
  - 11) SEE MODULAR MANUFACTURERS' SUBMISSION SET PAGE FOR ADDITIONAL NOTES AND DETAILS.
  - 12) GFCI RECPRT AND LIGHTS FOR BASEMENT AND CRAWLSPACES PER ALL STATE AND LOCAL CODES
  - 13) BACKFILLING AND TAMPING TO BE DONE PER LOCAL REQUIREMENTS



Before photo from Swanton Lister records







Before photo from Swanton Lister records





Before photo from Swanton Lister records



Before photo from Swanton Lister records







Before photo from Swanton Lister records



Before photo from Swanton Lister records



12/01/11

Parcel	MQ02000011			Book	227	Dwelling Value	58,100
Owner	MANGINE JAMES VINCENT			Page	596	Land Value	200,000
	23 FOURTH ST	Sale Date	11/18/05	Sale Price	0	Site Improvement	10,000
	DANBURY, CT 08610	Acres	2.23	Outbuildings	4,200	Total	272,300
Situs	200 MAQUAM SHORE RD						
Descr:	H+L						
NBHD:	1 0			<small>Scanned by Fax Solution™</small>			

<b>BUILDING</b>	Total Rooms	4	Year Built	1957	Building SF	1120	Energy Adj	Average	Roughins	1
	Bedrooms	2	Effect Age	49.0	Quality	2.50	Bsmt Wall	Blk 8"	Plumb Fixt	5
	Full Baths	1	Condition	Average	Style	1 Story	Bsmt SF	1120.00	Fireplaces	1
	Half Baths	0	Phys Depr	29	Design	One Story	Bsmt Fin	No Data	Porch	0
	Kitchens	1	Funct Depr	0	Bldg Type	Single	Bsmt Fin SF	0	Gar/Shed	0

<b>LAND</b>	CALC	Fmt&Dpth	LAND TYPE	Bldg Lot	AREA	2.23	GRADE	1.00	FRONTAGE	200.00
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Notes

Itemized Property Costs

From Table: MAIN Section 1

Record # 728

<b>Property ID:</b> MQ02000011	<b>Span #:</b> 639-201-11776	<b>Last Inspected:</b> 05/30/2006	<b>Cost Update:</b> 12/01/2011
<b>Owner(s):</b> MANGINE JAMES VINCENT	<b>Sale Price:</b> 0	<b>Book:</b> 227	<b>Validity:</b> No Data
<b>Address:</b> 23 FOURTH ST	<b>Sale Date:</b> 11/18/2005	<b>Page:</b> 596	
<b>City/St/Zip:</b> DANBURY CT 08610	<b>Bldg Type:</b> Single	<b>Quality:</b> 2.50	<b>FAIR/AVG</b>
<b>Location:</b> 200 MAQUAM SHORE RD	<b>Style:</b> 1 Story	<b>Frame:</b> Single	
<b>Description:</b> H+L	<b>Area:</b> 1120	<b>Yr Built:</b> 1957	<b>Eff Age:</b> 49
<b>Tax Map #:</b>	<b># Rms:</b> 4	<b># Bedrm:</b> 2	<b># Ktchns:</b> 1
	<b># 1/2 Bath:</b> 0	<b># Baths:</b> 1	

Item	Description	Percent	Quantity	Unit Cost	Total
<b>BASE COST</b>					
Exterior Wall #1:	ConBK (M) / Ht=8	100.00		57.96	
<b>ADJUSTMENTS</b>					
Roof #1:	CompRll	100.00		-0.74	
Subfloor	Wood				
Floor cover #1:	Allowance	100.00		1.82	
Heat/cooling #1:	ForcAir	100.00			
Energy Adjustment	Average				
<b>ADJUSTED BASE COST</b>			1,120.00	59.04	66,124
<b>ADDITIONAL FEATURES</b>					
Fixtures (beyond allowance of 6)			-1.00	762.50	-763
Roughins (beyond allowance of 1)				320.00	
Fireplaces	1 Story / Single		1.00	2,512.50	2,513
Basement	Blk 8"		1,120.00	12.44	13,933
Subtotal					81,806
Local multiplier		1.00			
Current multiplier		1.00			
<b>REPLACEMENT COST NEW</b>					81,806
<b>Condition</b>	Average	Percent			
Physical depreciation		29.00			-23,724
Functional depreciation					
Economic depreciation					
<b>REPLACEMENT COST NEW LESS DEPRECIATION</b>					58,100
<b>LAND PRICES</b>					
FR Bldg Lot	Size	Nbhd Mult	Grade	Depth/Rate	
	200.00	1.00	1.00	250.00	200,000
<b>Total</b>					200,000
<b>SITE IMPROVEMENTS</b>					
Water	Hsite/Hstd	Quantity	Quality		
	y / y	Typical	Average		4,000
Sewer	y / y	Typical	Average		6,000
<b>Total</b>					10,000
<b>OUTBUILDINGS</b>					
DGS 1S	Hsite/Hstd	% Good	Size	Rate.	Extras
	y / y	35	624	6.70	4,200
<b>Total</b>					4,200
<b>TOTAL PROPERTY VALUE</b>					272,300

<b>NOTES</b>	HOUSESITE VALUE :	272,300
	HOMESTEAD VALUE :	272,300



#10.00 fee due in lieu of previous permit

(To be typed or printed and submitted in triplicate.)

# APPLICATION FOR BUILDING/USE PERMIT

## TOWN OF SWANTON, VT.

No. 1210

THE UNDERSIGNED hereby requests a zoning permit for the following use to be issued on the representations contained herein. Permit voided in the event of misrepresentations of facts, or failure to complete 50% of the proposed work within one year from the date hereof.

Precise location of property: MacQueen Shore Road Box 428

Deed recorded: Book \_\_\_\_\_ Page \_\_\_\_\_ Lot \_\_\_\_\_

Name of landowner Andy Hasselbauer Address Swanton Tel.: 868-2023

Name of applicant Andy Hasselbauer Address Swanton Tel.: 868 2023  
(owner, leasee, agent)

Nature of work: New construction  Addition \_\_\_\_\_ Structural alteration \_\_\_\_\_

Other \_\_\_\_\_  
(use a separate sheet if necessary)

Existing use of land or building \_\_\_\_\_

Proposed use and occupancy Build a 24 x 26 car garage

A zoning permit plat including the names and addresses of all neighbors must be a attached to this application.

Lot size 200 <sup>ft front</sup> X 340 sq. ft. or acres Frontage on road right of way 230 200 ft.

Setbacks from: Road right of way 230 Rear 75<sup>ft</sup> Side 117 South side Side 59<sup>ft</sup> North

Building length 24 Width 26 No. of stories 1

Type of water system \_\_\_\_\_ Type of sewerage system \_\_\_\_\_

Number of ft. to closest line 59'

Date Sept 28, 1981

Signature of Applicant Andy Hasselbauer

(void if separated)

### FOR USE BY ADMINISTRATIVE OFFICER ONLY

Date filed 9/28/81 Fee paid \$10.00 Approved (initials) Denied \_\_\_\_\_

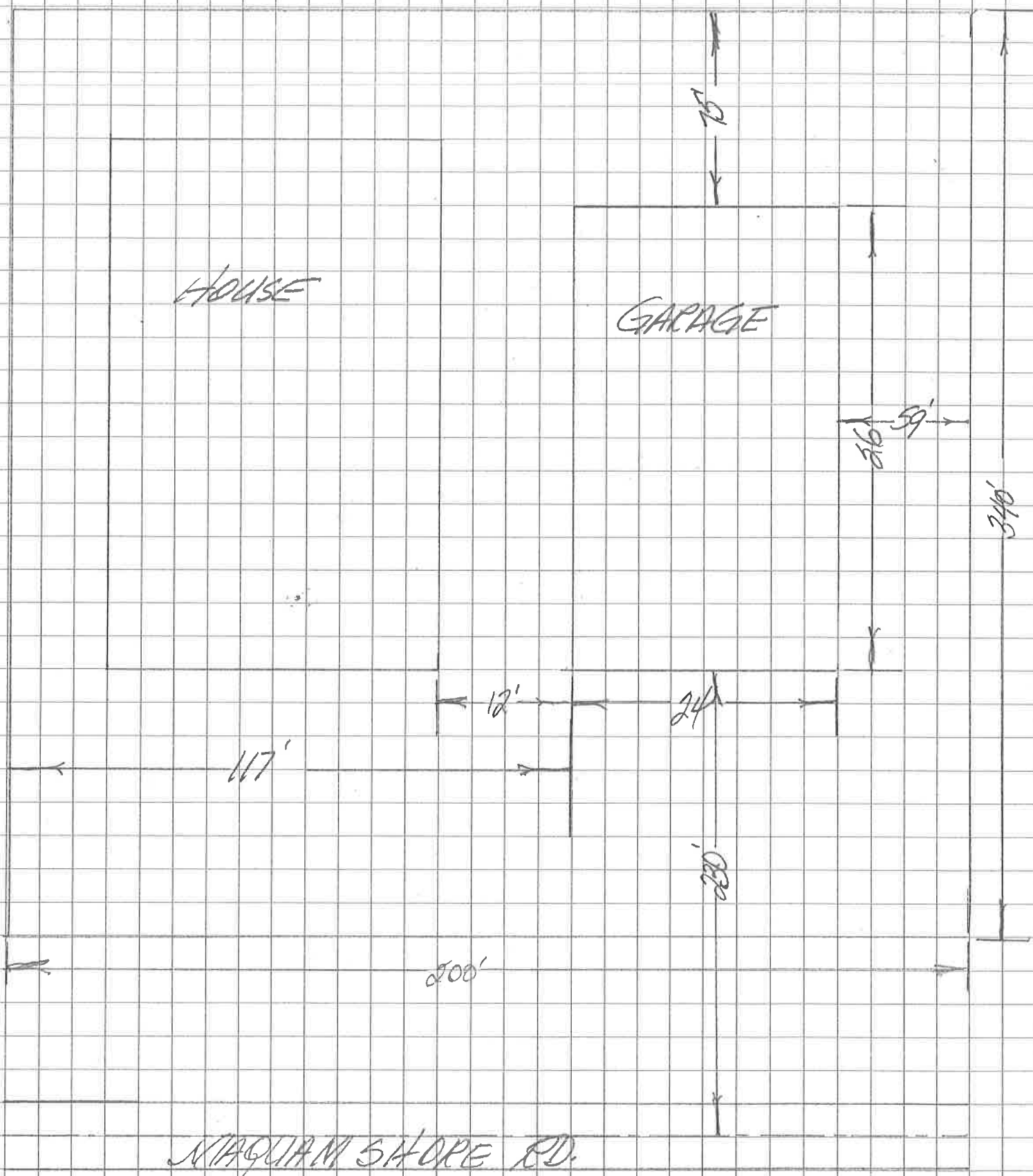
Reason for denial See permit #1207 - changed location of garage.

### APPEAL TO THE BOARD OF ADJUSTMENT

I \_\_\_\_\_ of \_\_\_\_\_ appeal the above

Decision of the Administrative officer to the Swanton Board of Adjustment and base appeal on the following grounds: \_\_\_\_\_

Date \_\_\_\_\_ Signature of Appellant \_\_\_\_\_



HOUSE

GARAGE

117'

500'

NIAGUAM SHORE RD.

75'

24'

230'

26'

39'

340'